



City of Gaithersburg

31 South Summit Avenue
Gaithersburg, Maryland 20877

Planning Commission Regular Session Agenda City Hall - Council Chambers Wednesday, June 5, 2013, 7:30 PM

I. APPROVAL OF MINUTES

- A. April 13, 2013, Planning Commission Training Session
- B. May 1, 2013, Planning Commission Meeting
- C. May 15, 2013, Planning Commission Meeting

II. RECORD PLATS

III. CONSENT ITEMS

IV. SIGN PERMITS

- A. **SIGN-2909-2013 -- Montgomery County Agricultural Fairgrounds**
MXD Zone
16 Chestnut Street
Monument Sign Revision
SIGN APPROVAL
- B. **SIGN-3173-2013, SIGN-3174-2013, SIGN-3177-2013, SIGN-3179-2013, SIGN-3180-thru-SIGN-3183-2013 -- Mini Dealership**
C-2 Zone
621 North Frederick Avenue
SIGN APPROVAL

V. SITE PLANS

VI. FROM THE COMMISSION

VII. FROM STAFF

VIII. ADJOURNMENT

To confirm accessibility accommodations, please contact the Department of Planning and Code Administration at 301-258-6330.

Please turn off all cellular phones and pagers prior to the meeting. Hand held signs brought may not be displayed in a manner which disrupts the meeting, blocks the view of spectators or cameras and poses a safety concern [e.g., signs mounted on stakes]. Your cooperation is appreciated.

All revised site plans to be reviewed by the Planning Commission will be due twelve (12) days before the meeting. All plans, except for **Consent Agenda** items, will require the applicant to post sign(s) of the hearing date on the property under consideration at least nine (9) days before the meeting. Planning staff will provide all signs, which are to be picked up at City Hall. All information to be submitted for Planning Commission meetings will be due **no later than 12:00 PM on the Friday** before the meeting. Materials associated with any agenda item may be reviewed at the offices of the Planning and Code Administration during regular business hours.

The Planning Commission normally will not begin consideration of a new site plan 10:30 PM, and the Chairman will announce anything contrary. The Alternate does not participate on regulatory items, unless a Commissioner is absent.

This electronic version of materials related to applications before the City of Gaithersburg Planning Commission is provided as a courtesy to interested parties. This is not the official record of matters before the Planning Commission and the City of Gaithersburg cannot guarantee the accuracy of electronic transmissions. Click here to view the [City of Gaithersburg Website Disclosure Statement](#). Materials provided electronically are provided as submitted by applicants; the City of Gaithersburg is not responsible for materials submitted by applicants. All materials included in this transmission are subject to change. The official record of any matter before the Planning Commission is available for inspection by the public during regular business hours at City Hall, 31 South Summit Avenue, Gaithersburg, Maryland 20877.

ANNOUNCEMENTS

MINUTES OF TRAINING WORKSESSION OF THE PLANNING COMMISSION
APRIL 13, 2013

A public meeting with the Planning Commission was held 10:00 a.m. Present at the meeting were Vice-Chair Lloyd Kaufman, Commissioners Matthew Hopkins, Geri Lanier, Danny Winborne, and Joseph Coratola (Alternate), Planner Matt Bowling. Guest: Charles Challstrom, Chair of the Washington Grove Planning Commission was also present for the morning session.

I. TRAINING

The Planning Commission and Mr. Challstrom participated in a webinar offered by the American Planning Association (APA) called, "The 21st Century Planning Commission."

The group took a lunch break at 1:00 p.m. and reconvened at 2:00 p.m.

The training continued until approximately 3:00 p.m.

Respectfully submitted,



Matt Bowling
Planner

**MINUTES OF A REGULAR MEETING OF THE PLANNING COMMISSION
MAY 1, 2013**

Chair John Bauer called the meeting to order at 7:30 p.m. Present at the meeting were Vice-Chair Lloyd Kaufman, Commissioners Geri Lanier, Danny Winborne, and Joseph Coratola (Alternate), Planning and Code Administration Director John Schlichting, Planning Director Lauren Pruss, Community Planning Director Trudy Schwarz, Planner Matthew Bowling, and Recording Secretary Myriam Gonzalez. Chair Bauer noted Alternate Commissioner Coratola would be actively participating this evening, since not all Commissioners are present. Absent: Commissioner Matthew Hopkins.

I. APPROVAL OF MINUTES

April 3 and April 17, 2013, Planning Commission Meetings

Vice-Chair Kaufman moved, seconded by Commissioner Lanier, to APPROVE the Minutes of the April 3 and April 17, 2013, Planning Commission Meetings, as submitted.

Vote: 5-0

II. RECORD PLAT

RP-2295-2013 -- Quince Orchard Park
Correction Plat 39 (WSSC Easement)

Commissioner Winborne moved, seconded by Vice-Chair Kaufman, to APPROVE the Record Plat Agenda.

Vote: 5-0

III. CONSENT ITEM

AFP-11-016 -- Criswell Fiat C-2 Zone
85 Bureau Drive
8,490-Sq.Ft. Addition
EXTENSION OF AMENDMENT TO FINAL PLAN APPROVAL

Commissioner Lanier moved, seconded by Vice-Chair Kaufman, to APPROVE AFP-11-016 - Criswell Fiat, finding it in compliance with § 24-173(a), with the following condition:

1. Applicant is to submit a sign package prior to final building permit inspection approval.

Vote: 5-0

IV. SITE PLAN

AFP-2273-2013 -- Krakovsky Residence
321 Firehouse Lane
720-Sq.Ft. Carriage House/Garage
AMENDMENT TO FINAL PLAN REVIEW
MXD Zone

Planner Bowling provided background information relating to this application and presented conceptual renderings, proposed architectural elevations and the site plan. Chair Bauer requested information showing the relationship between the carriage house and the house.

Architect for the applicant, Craig Moloney, CEM Design, noted that at this point there is no walkway connecting the garage to the house.

The following was testimony from the public:

Brian and Karen Gallant, 231 Firehouse Lane, voiced a concern that the proposed garage is situated too close to the property line, limiting maneuverability to ingress the garage from the alley.

Barney Gorin, 465 Golden Ash Mews, voiced concerns regarding insufficient notification of this proposal, the negative impact of the garage on the view from his porch, and insufficient setback between the garage and the alley.

Tim and Michelle Clark, 102 Booth Street, submitted a letter in favor of the proposal. They noted the garage is consistent with the character of the Kentlands. Mr. Clark stated he serves as President of the Kentlands Citizens Assembly.

Chair Bauer noted the garage is situated in relation to the alley consistently with others in the neighborhood. Planner Bowling additionally noted site issues which limit the siting options for the garage. Vice-Chair Kaufman agreed that the garage is consistent with others in the neighborhood, but was concerned with the elevation facing Hart Street due to its plain appearance. Alternate Commissioner Coratola commended the applicant for the design of the house; adding, however, the garage needs finalizing the detailing that relate to the house while keeping a simple appearance, e.g., window double hang/arching. Mr. Coratola recommended the applicant further study the placement of the house deck support columns. Commissioners Lanier and Winborne commented favorably on the garage addition.

Planner Bowling voiced staff's recommendation for approval, as it meets the approval criteria of the City Code, subject to the condition listed below.

Vice-Chair Kaufman moved, seconded by Alternate Commissioner Coratola, to grant AFP-2277-2013 - Krakovsky Residence, AMENDMENT TO FINAL PLAN APPROVAL, finding it in compliance with Zoning Ordinance § 24-172(A), with the following condition:

1. The approval of this Amendment to Final Site Plan Application (AFP-2273-2013) is subject to the subsequent approval of the Historic District Commission (HDC) as a Historic Area Work Permit application. Any modifications to the siting, materials, or design of the proposed Carriage House required by HDC shall be approved by City staff or the Planning Commission pursuant to § 24-172(A) of the City Code.

Vote: 5-0

V. FROM STAFFPlanning and Code Administration Director Schlichting

1. Reported attending the American Planning Association 2013 National Conference in Chicago with Chairman Bauer and several Planning Staff members, noting that a report would be forthcoming.
2. Reported attending with Commissioner Hopkins and Planner Bowling the Vibrant Streets Learning Lab by Streetsense.
3. Announced he would be representing the Maryland Municipal League on the committee set up by the Montgomery and Prince George's County Councils to work with the Washington Suburban Sanitary Commission on the pipeline design amendment for a proposed 80-foot setback.
4. Provided status updates on amendments to the Parking Ordinance and the Environmental Element of the Master Plan.
5. Announced that Gregory Mann has been hired as a planner.

Planning Director Pruss

Reported the Commission received this evening a letter to the Montgomery County Planning Board regarding the City's comments on the County-wide Transit Corridors Functional Master Plan.

Community Planning Director

1. Provided a status update on the implementation of the Commission-approved site plan for Lakeforest Animal Hospital.
2. Announced a joint public hearing with the City Council on July 1 and a joint work session on July 8. Due to the July 4 holiday, the Commission concurred on revising their regular meeting schedule in July to conduct the meetings on July 10 and the 24th.

VI. ADJOURNMENT

There being no further business to come before this session, the meeting was duly adjourned at 8:14 p.m.

Respectfully submitted,

M. Gonzalez
Recording Secretary

STAFF COMMENTS FOR PLANNING COMMISSION

MEETING DATE: June 5, 2013

SUBJECT: **SIGN-2909-2013**

TITLE: **Montgomery County Agricultural Center**

REQUEST: **Monument Sign
Sign Request**

ADDRESS: 16 Chestnut Street

ZONE: MXD (Mixed Use Development)

APPLICANT: Martin Svrcek, Montgomery County
Agricultural Center

CONTRACTOR: Dave Ashley, Dave Ashley Signs

STAFF LIAISON: Gregory Mann, Planner

Enclosures:

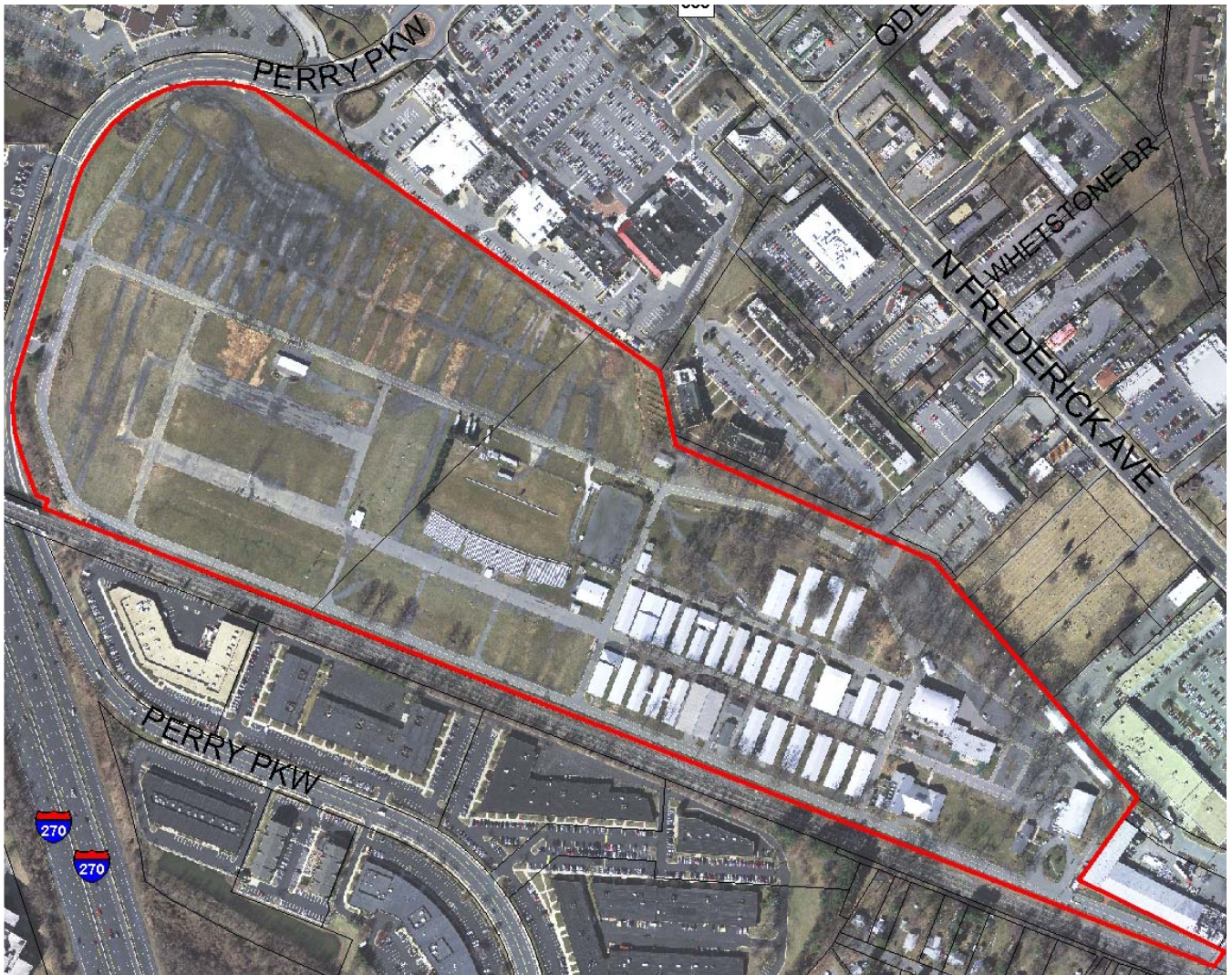
Staff Comments and Location Map
Exhibits

Exhibit 1: Sign Permit Application

Exhibit 2: Existing Sign

Exhibit 3: Proposed Sign Specifications

Exhibit 4: Applicants Letter



Location Map



Sign Location

STAFF COMMENTS

I. BACKGROUND:

The applicant has submitted a request for a sign permit, SIGN-2909-2013 (Exhibit 1). The subject property is located at 16 Chestnut Street, and is zoned Mixed Use Development (MXD).

II. SCOPE OF REVIEW:

This application comes before the Planning Commission because the proposed sign contains letter heights less than seven (7) inches tall. § 24-212(m)(5) regulates the text height on monument signs, which states:

"Individual letter height shall be not less than seven (7) inches and not more than twelve (12) inches."

Sign adjustments may be granted by the Planning Commission pursuant to § 24-213A(f), which states:

"Sign adjustments: Where a literal application of this ordinance, due to special circumstances, would result in an unusual hardship in an individual case, an adjustment may be granted by the planning commission provided that such adjustment would not cause a detriment to the health, safety and welfare of the public, upon a finding that:"

- (1) There exist exceptional conditions pertaining to the property where the sign is to be located as a result of its size, shape, or topography, which are not applicable to other lands or structures in the area; and*
- (2) The applicant would be deprived of rights that are commonly enjoyed by others similarly situated; and*
- (3) Granting the adjustment would not confer on the applicant any significant privileges that are denied to others similarly situated; and*
- (4) Neither the special circumstances nor unusual hardship is the result of action by the applicant; and*
- (5) The requested adjustment is the minimum adjustment necessary to allow the applicant to enjoy the rights commonly enjoyed by others similarly situated; and*
- (6) Granting of the adjustment would not violate more than one standard of this ordinance; and Granting the adjustment would not result in allowing a sign that interferes with road or highway visibility or obstruct or otherwise interfere with the safe and orderly movement of traffic*

III. SIGN ANALYSIS AND FINDINGS:

Site Characteristics

The subject property is an approximately 62.83 acre agricultural fair ground. The property is bound by the CSX Railroad right-of-way to the south, Chestnut Street to the east, Perry Parkway to the west, and the back of a variety of commercial business that front onto North Frederick to the north.

Surrounding Land Use and Zoning

The subject property is surrounded on all sides by commercial, industrial, and residential land uses. The zoning designations surrounding the property are R-90 (Medium Density Residential), E-1 (Urban Employment), and C-2 (General Commercial) to the south; CBD (Central Business District) to the east; I-1 (Light Industrial), CD (Corridor Development), R-A (Low Density Residential), C-2 (General Commercial), and R-20 (Medium Density Residential) to the north; and C-2 (General Commercial) to the west.

Sign Analysis

The applicant is proposing to remove the existing monument sign and construct a new one in its place. The proposed sign will preserve the existing masonry columns and maintain the existing landscaping from the previous sign. The new sign will contain the new Montgomery County Agricultural Center logo, their website, and the street address. The bottom of the sign was purposely left open to avoid the sign being obstructed by the existing landscaping. The size of the sign is limited by the preservation of the existing masonry columns and the visibility of the bottom of the sign over the existing landscaping.



Exhibit 2 – Existing Sign



Exhibit #3 – Proposed Sign

Upon review of the sign permit, staff noted that the lettering height did not comply with § 24-212(m) of the Sign Ordinance, which requires that letters be a minimum of seven (7) inches in height. The applicant submitted a letter requesting a variance in accordance with § 24-212(m)(5) to allow letter heights smaller than seven (7) inches (Exhibit #4).

The letter heights within the Montgomery County Agricultural Fairgrounds logo vary in height from 2.75" to 6". While the letter heights are smaller than the required 7" it is staff's opinion that the logo will be large enough to be visible from the road and be an illustrative marker for the entrance to the Fair Grounds.

The address is proposed to be 6" in height. The existing sign currently has an address letter height of 1.75". The new sign will drastically increase the visibility of the address to both visitors and fire and safety personal. While the address height does not meet the requirements of the City of Gaithersburg Sign Ordinance, it does satisfy the requirements of § 22-97 of the adopted Fire and Safety Code of Montgomery County which states,

"Address numbers must be at least 6" high for commercial, industrial, or multifamily structures."

The letter height of the web address is 5 inches. The applicant submitted a picture of the existing sign, which currently has letter heights smaller than 7" to support their request (Exhibit #2).

Summary of Findings

After reviewing the proposed sign permit, staff is in support of the proposed letter height adjustment. Chestnut Street has a 25-mile per hour speed limit. The regulations for the monument sign were created for a higher traffic volume and speed roadway and are, therefore, restrictive for this property. The proposed sign will be large enough to be visible from the road and will be a visual marker for the entrance to the Fair Ground. The address of the property is proposed to conform to the requirements of § 22-97 of the Fire and Safety Code of Montgomery County, and will be visible for the general public and emergency services.

IV. CONCLUSION:

Staff recommends the Planning Commission make a motion **TO GRANT SIGN ADJUSTMENT APPROVAL IN ACCORDANCE TO §24-212(m)(5) FOR SIGN-2909-2013, A MONUMENT SIGN FOR THE MONTGOMERY COUNTY AGRICULTURAL CENTER.**

Sign-2909-2013

4/23/13

P&CA**PLANNING AND CODE ADMINISTRATION**City of Gaithersburg · 31 South Summit Avenue · Gaithersburg, Maryland 20877 · Telephone: (301) 258-6330 · Fax: (301) 258-6336
plancode@gaitthersburgmd.gov · www.gaithersburgmd.gov**SIGN PERMIT APPLICATION***All information must be complete to initiate processing of application***1) SUBJECT PROPERTY**Street Address 16 Chestnut Street
Suite Number(s) _____**2) PROPERTY OWNER** *(property owner's signed permission letter must be submitted with this application)*Name Montgomery County Agricultural Center Inc.
Street Address 16 Chestnut Street Suite No. _____
City Gaithersburg State Maryland Zip Code 20877
Telephone Numbers: Work 301-926-3100 Cell 240-678-0451 E-Mail msvrcek@mcagfair.com**3) APPLICANT**Name Martin Svrcek Title Executive Director
Street Address 16 Chestnut Street Suite No. _____
City Gaithersburg State Maryland Zip Code 20877
Telephone Numbers: Work 301-926-3100 Cell 240-678-0451 E-Mail msvrcek@mcagfair.com**4) SIGN CONTRACTOR**Business Name Dave Ashley Signs MD Business License No. 043809633
Primary Contact Dave Ashley
Street Address 23907 Old Hundred Rd Suite No. _____
City Dickerson State Maryland Zip Code 20842
Telephone Numbers: Work 301-509-7192 Cell 301-509-7192 E-Mail daveashleysigns@gmail.com**5) ELECTRICAL CONTRACTOR**Business Name N/A
Primary Contact _____ City License No. _____
Street Address _____ Suite No. _____
City _____ State _____ Zip Code _____
Telephone Numbers: Work _____ Cell _____ E-Mail _____**6) OCCUPANT/TENANT/DOING BUSINESS AS**Business Name Same as above
Primary Contact _____
Street Address _____ Suite No. _____
City _____ State _____ Zip Code _____
Telephone Numbers: Work _____ Cell _____ E-Mail _____

7) PERMIT TYPE

☐ **TEMPORARY**

- ☐ Banner
☐ Real Estate ☐ Special Event
☐ Pole Banner
☐ Construction

☐ **PERMANENT**

- ☐ A-Frame ☒ Monument
☐ Directional ☐ Re-Face
☐ Canopy ☐ Electronic
☐ Building ☐ Pole Banner

☒ **ELECTRIC ?**

Amps _____

☒ **ILLUMINATED ?**

☒ Externally

☐ Internally

8) PROJECT DETAILS *(complete all that apply)*

(Enter Height and Width in Inches)

- a. Square footage of sign: (Height) 65" X (Width) 72" = 32.5 Sq. Ft
b. Square footage of building facade holding sign: (Height) N/A X (Width) _____ = 0 Sq. Ft
c. Square footage of individual tenant band: (Height) N/A X (Width) _____ = 0 Sq. Ft

d. Height above grade _____ ft.

e. ☐ Facade holding sign faces public street ☒ Sign faces public entrance ☒ Sign has footing

f. Exact wording of sign see Exhibit A

Translation (if applicable) _____

g. Exact placement of sign Chestnut St. at CSX track crossing Setback 10ft

h. Number of Faces 2

i. Color(s) of sign see Exhibit A

j. Materials PVC and Vinyl

Applicant's Signature

Martin E. Smith

Date

4/23/13

9) SUBMISSION REQUIREMENTS

- a. Three copies of sign drawing indicating dimensions, shape, materials, and description of the face with lighting detail.
b. One copy of the site plan showing the location of the sign on the property/building.
c. Landscape plan for monument signs.

MONTGOMERY COUNTY

Agricultural

CENTER, INC.

16 CHESTNUT ST.

AUGUST 9 - 17, 2013



51.5"

88"
Top to Grade

72"

MEMORANDUM

DATE: May 21, 2013

TO: Gregory P. Mann
Planner
City of Gaithersburg

FROM: Martin E. Svrcek, Executive Director
Montgomery County Agricultural Center Inc.

SUBJECT: Montgomery County Agricultural Fairgrounds
Chestnut Street Entrance Sign

This memorandum is a request to replace our entrance sign at 16 Chestnut Street with the one that is depicted on the attachment and has the following specifications for the size of the letters and material to be used for construction. We have been informed that our new logo and sign proposal is not compliant with City of Gaithersburg regulations.

The sign will be fabricated using vinyl, PVC, aluminum and stainless steel.

The open area under the sign is to provide space so that existing plantings and landscaping do not obscure any portion of the sign.

Section 24-213A (f) below, has been provided to us with the request that each item be addressed. Our responses are in italics.

Sign adjustments: Where a literal application of this ordinance, due to special circumstances, would result in an unusual hardship in an individual case, an adjustment may be granted by the planning commission provided that such adjustment would not cause a detriment to the health, safety and welfare of the public, upon a finding that:

(1)

There exist exceptional conditions pertaining to the property where the sign is to be located as a result of its size, shape, or topography, which are not applicable to other lands or structures in the area. *We are planning to use the brick piers that are supporting the existing sign for the new sign in order to approximately maintain the size that currently exists.*

(2)

The applicant would be deprived of rights that are commonly enjoyed by others similarly situated. *We see no evidence that this has occurred and have no data regarding similar situations within the City of Gaithersburg.*

(3)

Granting the adjustment would not confer on the applicant any significant privileges that are denied to others similarly situated. *Our objective is to display our new logo, improve the appearance of the entrance to the Fairgrounds, and provide an easier to read sign for use by visitors and not an attempt to obtain significant privileges that are denied to others similarly situated.*

(4)

Neither the special circumstances nor unusual hardship is the result of action by the applicant. *The size and proportions of our new logo are the result of many meetings with stakeholders, designers and Board members. The cost of this process is significant and at this time we are committed to our new logo that is represented on the sign design that is attached to this request.*

(5)

The requested adjustment is the minimum adjustment necessary to allow the applicant to enjoy the rights commonly enjoyed by others similarly situated. *To preserve the existing masonry columns and maintain existing landscaping, the proposed monument sign is constrained on increasing size and letter heights. The bottom of the sign is purposely left open to avoid the sign being obstructed by the existing landscaping. The proposed sign letter heights are comparable to the existing sign. The new sign will be large enough to be visible from the road and will be a visual marker for the entrance to the Fair Grounds. The address letter heights are 6" (1" shorter than is required by Gaithersburg City code), but is acceptable per NFPA 101 and meets the requirements established by the Montgomery County Fire Marshal.*

(6)

Granting of the adjustment would not violate more than one standard of this ordinance. *We have been informed by Greg Mann that the only statute our proposed sign would violate is the height of the letters. The actual size of the letters on the sign are indicated below and are proportioned to fit the logo.*

*Montgomery County - 2.75 inches
"F" in Fairgrounds – 6.0 inches
Top of "F" to bottom of the "g" – 7.5 inches
16 Chestnut Street – 6.0 inches
Mcagfair.com – 5.0 inches*

(7)

Granting the adjustment would not result in allowing a sign that interferes with road or highway visibility or obstruct or otherwise interfere with the safe and orderly movement of traffic. *The sign that we are proposing would have no effect on the safe and orderly movement of traffic and closely approximates the size of the sign that currently exists.*

STAFF COMMENTS FOR PLANNING COMMISSION

MEETING DATE: June 5, 2013

SUBJECT: **SIGN-3173-2013, SIGN-3174-2013,
SIGN-3177-2013, SIGN-3179-2013,
SIGN-3180-2013, SIGN-3181-2013,
SIGN-3182-2013, SIGN-3183-2013**

TITLE: **Mini of Montgomery Signage**

REQUEST: **Sign Request**

ADDRESS: 621 North Frederick Avenue

ZONE: C-2 (General Commercial)

APPLICANT: Ken Padgett, J&M Services, Inc.

CONTRACTOR: Ken Padgett, J&M Services, Inc.

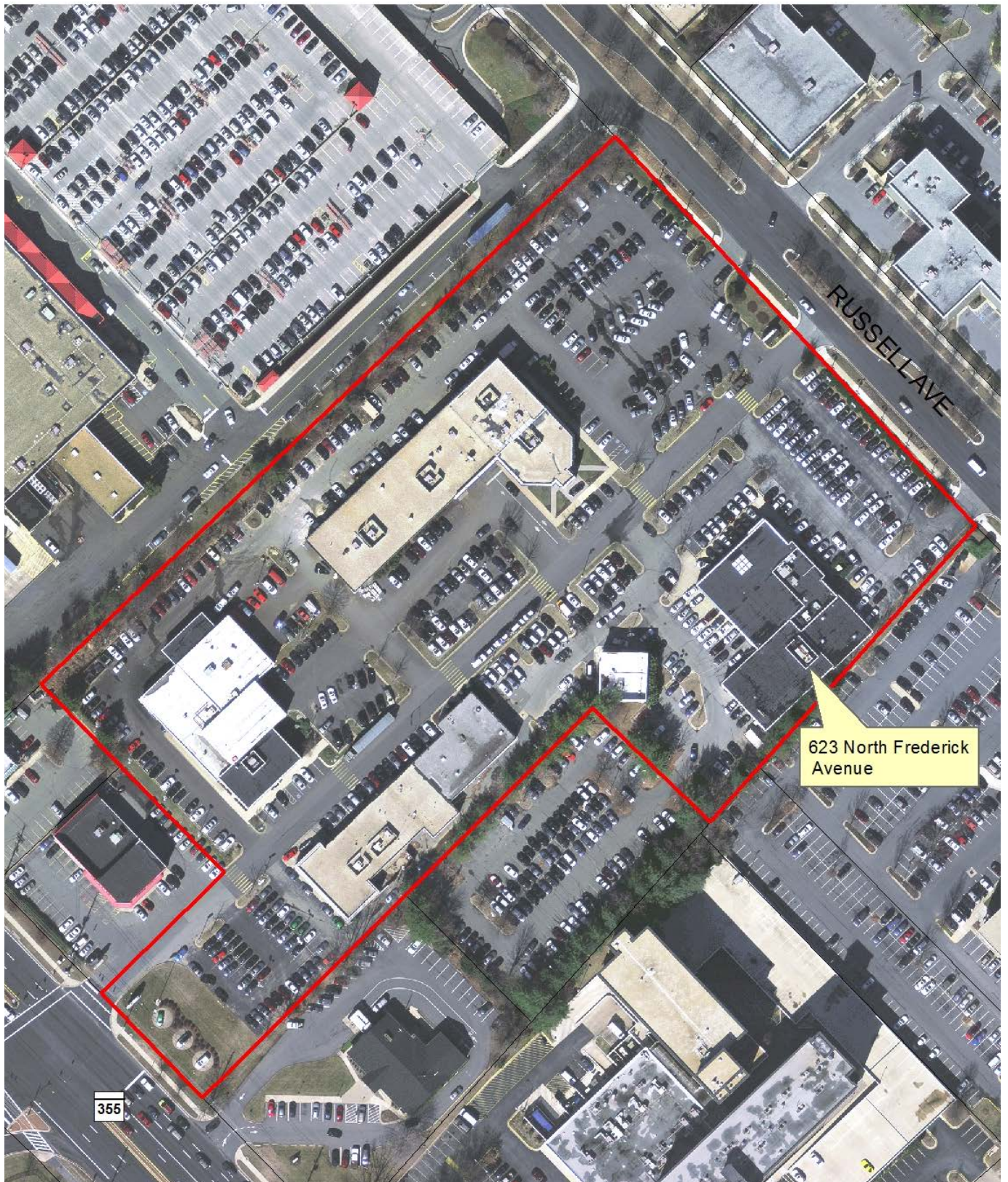
Occupant: Everett Hellmuth, Mini of Montgomery

STAFF LIAISON: Gregory Mann, Planner

Enclosures:

Staff Comments and Location Map
Exhibits

Exhibit 1: Sign Permit Applications
Exhibit 2: Sign Location Plan
Exhibit 3: Building Sign Locations
Exhibit 3: Proposed Signs
Exhibit 4: Applicants Letter
Exhibit 5: Owner Authorization



Location Map

STAFF COMMENTS

I. BACKGROUND:

An application has been submitted for a sign permit (SIGN-3173-2013, SIGN-3174-2013, SIGN-3177-2013, SIGN-3179-2013, SIGN-3180-2013, SIGN-3181-2013, SIGN-3182-2013, SIGN-3183-2013) requesting the approval of eight automobile dealership signs. The subject property is zoned C-2 (General Commercial) and located at 621 North Frederick Avenue.

II. SCOPE OF REVIEW:

This application comes before the Planning Commission because of § 24-212(b)(4) which states,

"All applications for permits for signs to be erected, altered, refaced or moved on automobile dealership premises shall be submitted to the planning commission for review. The planning commission may review all existing signs, excluding lawful nonconforming signs permitted under subsections 24-212(b)(1) and 24-212(b)(2), and proposed signs for compatibility with the surrounding area and for impact on the streetscape in terms of visual clutter."

It is within the planning commissions purview to regulate the size of automobile signage under § 24-212(b)(5) which states,

"The planning commission may limit the height or area of the sign, may restrict the location of the sign on the premises, and may reduce the total sign area allowed under subsections 24-212(c) and 24-212(m)."

Sign adjustments may be granted by the Planning Commission pursuant to § 24-213A(f), which states:

"Sign adjustments: Where a literal application of this ordinance, due to special circumstances, would result in an unusual hardship in an individual case, an adjustment may be granted by the planning commission provided that such adjustment would not cause a detriment to the health, safety and welfare of the public, upon a finding that:"

- (1) There exist exceptional conditions pertaining to the property where the sign is to be located as a result of its size, shape, or topography, which are not applicable to other lands or structures in the area; and*
- (2) The applicant would be deprived of rights that are commonly enjoyed by others similarly situated; and*

- (3) Granting the adjustment would not confer on the applicant any significant privileges that are denied to others similarly situated; and*
- (4) Neither the special circumstances nor unusual hardship is the result of action by the applicant; and*
- (5) The requested adjustment is the minimum adjustment necessary to allow the applicant to enjoy the rights commonly enjoyed by others similarly situated; and*
- (6) Granting of the adjustment would not violate more than one standard of this ordinance; and Granting the adjustment would not result in allowing a sign that interferes with road or highway visibility or obstruct or otherwise interfere with the safe and orderly movement of traffic*

III. SIGN ANALYSIS AND FINDINGS:

Site Characteristics

The subject property is approximately 8.43 acres and has been developed as an automobile dealership. The property consists of five standalone buildings and currently contains two automobile dealerships, Mazda and Acura. The property is located on the north side of North Frederick Avenue, between Montgomery Village Avenue and Christopher Avenue. The property can be accessed from both North Frederick Avenue and Russell Avenue.

Surrounding Land Use and Zoning

The subject property is surrounded on all sides by a variety of retail uses and office. The zoning designations surrounding the property are C-2 (General Commercial) to the north, east and west and MXD (Mixed Use Development) to the south.

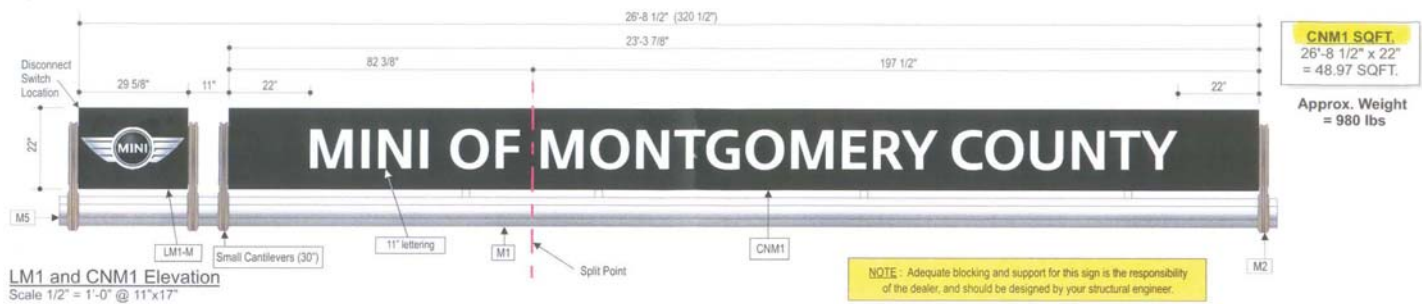
Sign Analysis

The applicant is proposing to erect eight new automobile signs for the newly completed Mini of Montgomery automobile dealership. The application includes three wall signs located on the building façade, two directional signs located within the existing parking lot, and a pylon sign located on Russell Avenue. The application also includes the reface of the two existing monument signs located on Russell Avenue and North Frederick Avenue.

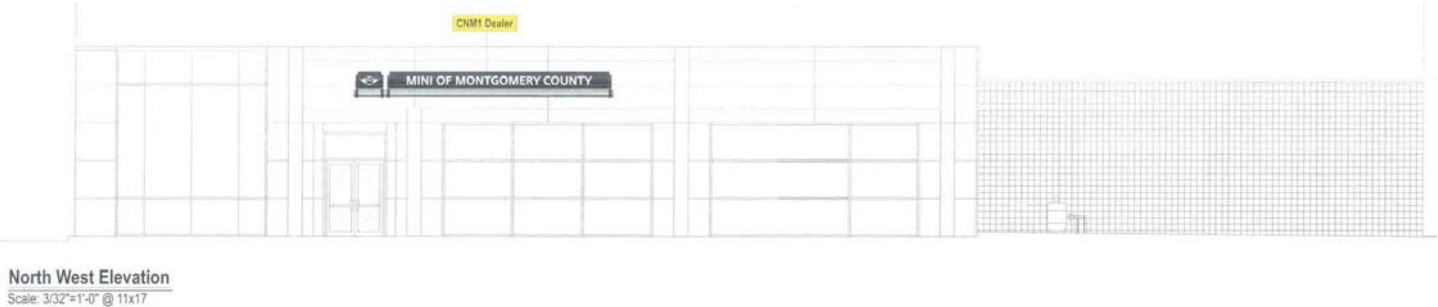


Sign Locations

Sign A1 (Sign-3173-2013) is located on the North West elevation. The total area of the proposed sign is 48.97 square feet and is approximately 1.7% of the total square footage of the façade holding the sign. The applicant is permitted to have a total of 286 square feet of signage pursuant to § 24-212(c)(1). The sign is internally illuminated with white letters on a black background. The sign contains the Mini logo and the name of the dealership, Mini of Montgomery County. The letter height is 11 inches.

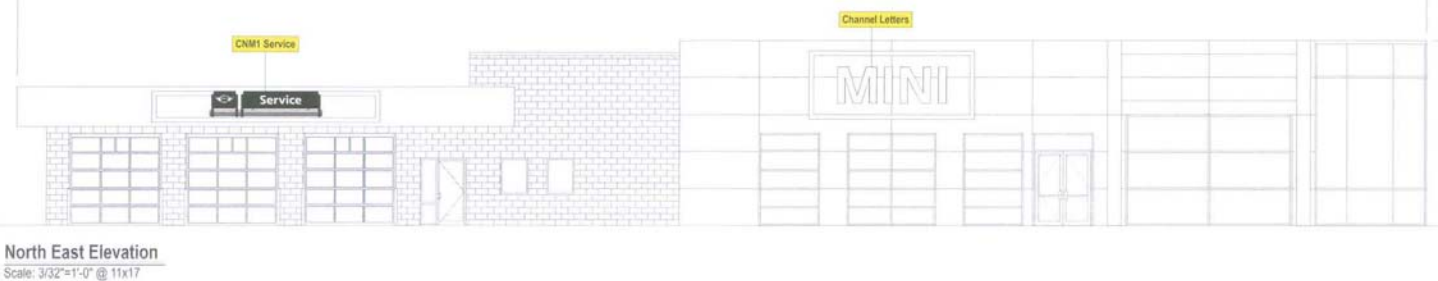


Sign A1 (Sign-3173-2013)



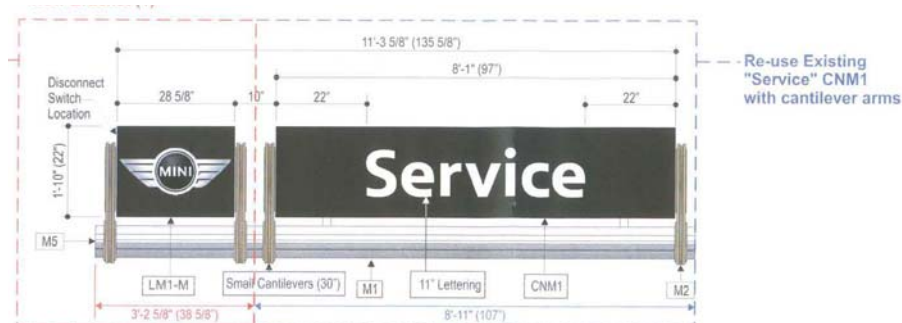
Sign A1 (Sign-3173-2013) Location

Sign A2 (Sign-3174-2013) and A3 (Sign-3177-2013) are both located on the North East elevation. The total area of the two signs is 68.47 square feet and is approximately 2.2% of the total square footage of the façade holding the sign. The applicant is permitted to have a total of 306 square feet of signage pursuant to § 24-212(c)(1).



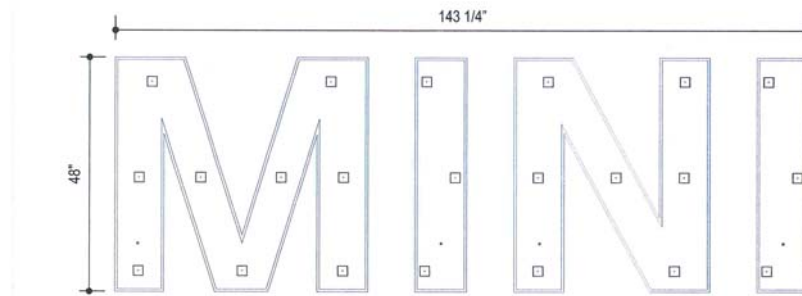
Sign A2 (Sign-3173-2013) and A3 (Sign-3177-2013) Location

Sign A2 (Sign-3174-2013) is proposed to be located over the service garages and is 20.72 square feet. The proposed sign is internally illuminated with white letters on a black background. The sign contains the Mini logo and the word "service". The letter height is 11 inches.



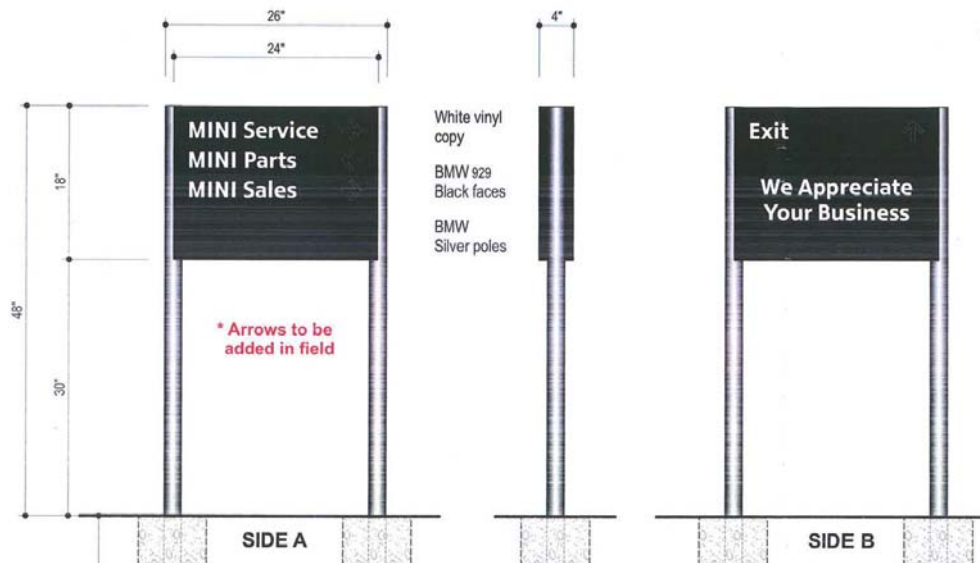
Sign A2 (Sign-3174-2013)

Sign A3 (Sign-3177-2013) is 47.75 square feet. The proposed sign is white channelled letters and says "MINI". The heights of the channelled letters are 4 feet.

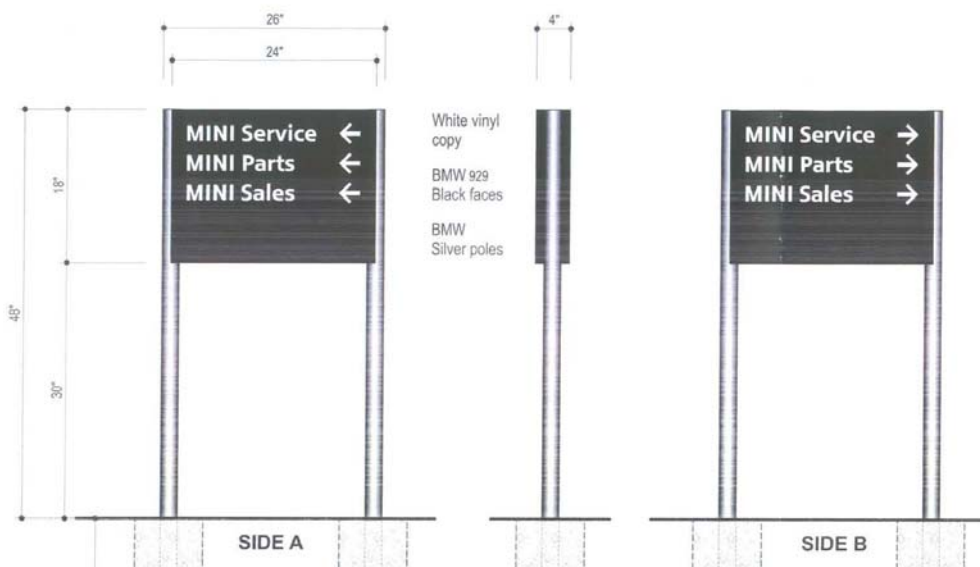


Sign A3 (Sign-3177-2013)

Signs A4 (Sign-3180-2013) and A5 (Sign-3181-2013) are directional signs that are located within the existing parking lot. The signs are 4' tall and have a surface area of 3 square feet.



Sign A4 (Sign-3180-2013)

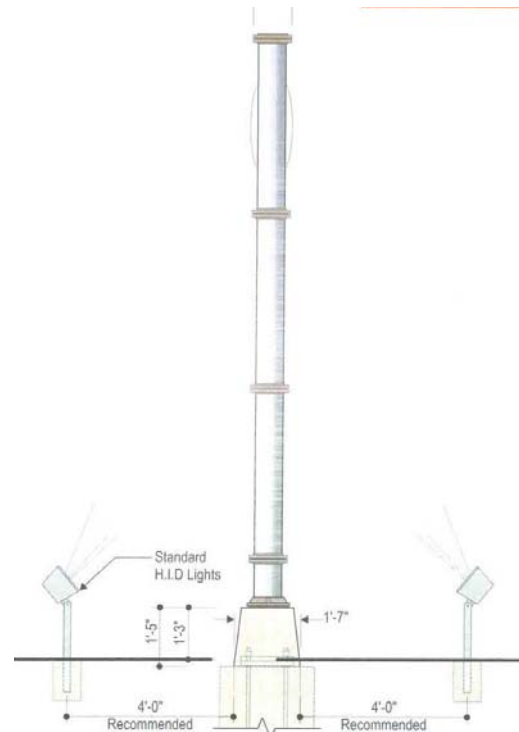


Sign A5 (Sign-3181-2013)

Sign A6 (Sign-3179-2013) is a 63.33 square foot pylon sign located on Russell Avenue. The proposed sign is 15' high by 6'-4" wide. The sign is comprised of three 3'x11.5" black modules. The top module contains the Mini logo, the middle module contains the automobile dealerships name, and the bottom module contains the address. The sign will be externally illuminated.



Sign A6 (Sign-3179-2013)

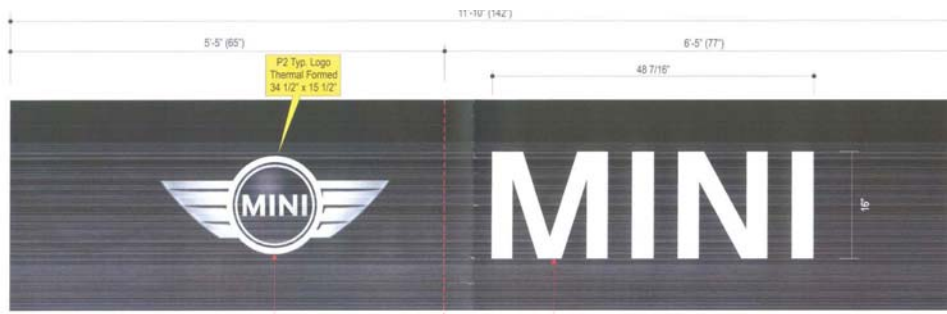


Upon review of sign A6 (Sign-3179-2013), staff noted that the proposed sign did not comply with § 24-212(m)(1) which states,

"One freestanding monument sign facing each street frontage, not exceeding ten (10) feet in width and eight (8) feet in height from grade at the base of the sign is permitted for each lot or parcel containing a building, with a maximum total of two (2) signs exclusive of theater marquee or service station signs."

The applicant submitted a letter, in accordance with § 24-213A(f), requesting approval to allow the height of the pylon sign to be 15 feet. The applicant's justification for the 15 foot pylon sign was to allow for greater visibility off Russell Avenue, as the dealership is located approximately 170 feet from the street front. The applicant has also stated that the location of the pylon sign is required to be taller to avoid being blocked by the existing landscaping. Staff noted that the streetscape on Russell Avenue at this location is comprised of street trees and large shrubs, which would reduce the visibility of smaller signs. Staff concurs with the applicant's justification. It should also be noted that the sign is not a monument style sign as it only has a singular support.

Signs A7 (Sign-3183-2013) and Sign A8 (Sign-3182-2013) are a reface of the existing monument signs located on Russell Avenue and North Frederick Avenue. The new monument sign panels will have a black background with word Mini in white lettering. The signs will also contain the Mini logo.



Sign A7 (Sign-3183-2013) and Sign A8 (Sign-3182-2013)

Summary of Findings

Staff finds the proposed signage consistent with the zoning ordinance and surrounding properties. The property currently is comprised of two automobile dealerships, and the proposed signage will not adversely affect the character of the property.

Staff also supports the height and style of the proposed pylon sign. The height is necessary to obtain visibility of the sign over the existing landscaping. The pylon sign will also provide greater visibility to the dealership which is located a significant distance from the street.

IV. CONCLUSION:

Staff recommends that the Planning Commission **GRANT SIGN-3173-2013, SIGN-3174-2013, SIGN-3177-2013, SIGN-3179-2013, SIGN-3180-2013, SIGN-3181-2013, SIGN-3182-2013, SIGN-3183-2013, SIGN PERMITS, FINDING IT IN CONFORMANCE WITH §24-212(b) OF THE CITY'S ZONING ORDINANCE, WITH NO (O) CONDITIONS.**

P&CA

PLANNING AND CODE ADMINISTRATION

SIGN-3183-2017
5/17/13

City of Gaithersburg · 31 South Summit Avenue · Gaithersburg, Maryland 20877 · Telephone: (301) 258-6330 · Fax: (301) 258-6336
plancode@gaithersburgmd.gov · www.gaithersburgmd.gov

SIGN PERMIT APPLICATION

All information must be complete to initiate processing of application

1) SUBJECT PROPERTY

Street Address 621 N. Frederick Ave. Gaithersburg, MD 20879

Suite Number(s) _____

2) PROPERTY OWNER *(property owner's signed permission letter must be submitted with this application)*

Name CARS-DBI, LLC c/o Capitol Automotive Real Estate Services, Inc.

Street Address 8720 Greensboro Dr.

Suite No. 950

City McLean

State Virginia

Zip Code 22102

Telephone Numbers: Work 703-288-3075

Cell _____

E-Mail _____

3) APPLICANT

Name Ken Padgett

Title Project Manager

Street Address 12055-B Tech Rd.

Suite No. _____

City Silver Spring

State Maryland

Zip Code 20904

Telephone Numbers: Work 301-622-4290

Cell 301-370-2126

E-Mail ken@jandmservicesinc.com

4) SIGN CONTRACTOR

Business Name J&M Services, Inc.

MD Business License No. 15721613

Primary Contact Ken Padgett

Street Address 12055-B tech Rd.

Suite No. _____

City Silver Spring

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Zip Code 20904

Telephone Numbers: Work 301-622-4290

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5) ELECTRICAL CONTRACTOR

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6) OCCUPANT/TENANT/DOING BUSINESS AS

Business Name Mini of Montgomery

Primary Contact Everett Hellmuth

Street Address 621 N. Frederick Ave.

Suite No. _____

City Gaithersburg

State Maryland

Zip Code 20879

Telephone Numbers: Work 301-423-2700

Cell _____

E-Mail _____

7) PERMIT TYPE

☐ **TEMPORARY**

- ☐ Banner
☐ Real Estate
☐ Pole Banner
☐ Construction
- ☐ Special Event

☒ **PERMANENT**

- ☐ A-Frame
☐ Directional
☐ Canopy
☐ Building
- ☐ Monument
☒ Re-Face
☐ Electronic
☐ Pole Banner

☐ **ELECTRIC ?**
Amps _____

☒ **ILLUMINATED ?**
☐ Externally
☒ Internally

8) PROJECT DETAILS (complete all that apply)

(Enter Height and Width in Inches)

- a. Square footage of sign: (Height) 31.5 X (Width) 142 = 31.06 Sq. Ft
- b. Square footage of building facade holding sign: (Height) _____ X (Width) _____ = _____ Sq. Ft
- c. Square footage of individual tenant band: (Height) _____ X (Width) _____ = _____ Sq. Ft
- d. Height above grade 12'
- e. ☐ Facade holding sign faces public street ☐ Sign faces public entrance ☐ Sign has footing
- f. Exact wording of sign MINI w/ Mini Logo
Translation (if applicable) _____
- g. Exact placement of sign Along Russell Ave side of property Setback 12'
- h. Number of Faces 2
- i. Color(s) of sign Black/White
- j. Materials Aluminum & Acrylic

Applicant's Signature



Date

5/20/13

9) SUBMISSION REQUIREMENTS

- a. Three copies of sign drawing indicating dimensions, shape, materials, and description of the face with lighting detail.
- b. One copy of the site plan showing the location of the sign on the property/building.
- c. Landscape plan for monument signs.

P&CA

PLANNING AND CODE ADMINISTRATION

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plancode@gaithersburgmd.gov · www.gaithersburgmd.gov

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7) PERMIT TYPE

☐ TEMPORARY

- ☐ Banner
☐ Real Estate
☐ Pole Banner
☐ Construction
- ☐ Special Event

☒ PERMANENT

- ☐ A-Frame
☐ Directional
☐ Canopy
☐ Building
- ☐ Monument
☒ Re-Face
☐ Electronic
☐ Pole Banner

☐ ELECTRIC ?

Amps _____

☒ ILLUMINATED ?

- ☐ Externally
☒ Internally

8) PROJECT DETAILS (complete all that apply)

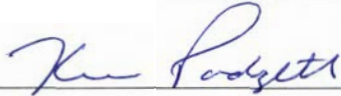
(Enter Height and Width in Inches)

- a. Square footage of sign: (Height) 21 X (Width) 144 = 21 Sq. Ft
- b. Square footage of building facade holding sign: (Height) _____ X (Width) _____ = _____ Sq. Ft
- c. Square footage of individual tenant band: (Height) _____ X (Width) _____ = _____ Sq. Ft
- d. Height above grade 4'
- e. ☐ Facade holding sign faces public street ☐ Sign faces public entrance ☐ Sign has footing
- f. Exact wording of sign MINI w/ Mini Logo

Translation (if applicable) _____

- g. Exact placement of sign Along Frederick Ave side of property Setback 5'
- h. Number of Faces 2
- i. Color(s) of sign Black/White
- j. Materials Aluminum & Acrylic

Applicant's Signature



Date

5/20/13

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- b. One copy of the site plan showing the location of the sign on the property/building.
- c. Landscape plan for monument signs.

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plancode@gaithersburgmd.gov · www.gaithersburgmd.gov

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Title Project Manager

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State

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Zip Code

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Cell 301-370-2126

E-Mail

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☐ Real Estate
☐ Pole Banner
☐ Construction
- ☐ Special Event

☒ **PERMANENT**

- ☐ A-Frame
☒ Directional
☐ Canopy
☐ Building
- ☐ Monument
☐ Re-Face
☐ Electronic
☐ Pole Banner

☐ ELECTRIC ?
Amps _____

☐ ILLUMINATED ?
☐ Externally
☐ Internally

8) PROJECT DETAILS (complete all that apply)

(Enter Height and Width in Inches)

- a. Square footage of sign: (Height) 18 X (Width) 24 = 3 Sq. Ft
- b. Square footage of building facade holding sign: (Height) _____ X (Width) _____ = _____ Sq. Ft
- c. Square footage of individual tenant band: (Height) _____ X (Width) _____ = _____ Sq. Ft
- d. Height above grade 4'
- e. ☐ Facade holding sign faces public street ☐ Sign faces public entrance ☒ Sign has footing
- f. Exact wording of sign MINI Service- MINI Parts- Mini Sales With Arrows
Translation (if applicable) _____
- g. Exact placement of sign Parking Lot Island right side of building Setback 110'
- h. Number of Faces 2
- i. Color(s) of sign Black/White/Silver
- j. Materials Aluminum & Acrylic

Applicant's Signature



Date

5/20/13

9) SUBMISSION REQUIREMENTS

- a. Three copies of sign drawing indicating dimensions, shape, materials, and description of the face with lighting detail.
- b. One copy of the site plan showing the location of the sign on the property/building.
- c. Landscape plan for monument signs.

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plancode@gaithersburgmd.gov · www.gaithersburgmd.gov

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Virginia

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Telephone Numbers: Work 703-288-3075

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E-Mail

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Cell _____

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7) PERMIT TYPE

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☐ Real Estate
☐ Pole Banner
☐ Construction
- ☐ Special Event

☒ **PERMANENT**

- ☐ A-Frame
☒ Directional
☐ Canopy
☐ Building
- ☐ Monument
☐ Re-Face
☐ Electronic
☐ Pole Banner

☐ ELECTRIC ?
Amps _____

☐ ILLUMINATED ?
☐ Externally
☐ Internally

8) PROJECT DETAILS (complete all that apply)

(Enter Height and Width in Inches)

- a. Square footage of sign: (Height) 18 X (Width) 24 = 3 Sq. Ft
- b. Square footage of building facade holding sign: (Height) _____ X (Width) _____ = _____ Sq. Ft
- c. Square footage of individual tenant band: (Height) _____ X (Width) _____ = _____ Sq. Ft
- d. Height above grade 4'
- e. ☐ Facade holding sign faces public street ☐ Sign faces public entrance ☒ Sign has footing
- f. Exact wording of sign (Side 1) MINI Service- MINI Parts- Mini Sales With Arrows (Side 2) Exit - We Appreciate Your Business
Translation (if applicable) _____
- g. Exact placement of sign Parking Lot Island in front of building Setback 70'
- h. Number of Faces 2
- i. Color(s) of sign Black/White/Silver
- j. Materials Aluminum & Acrylic

Applicant's Signature



Date

5/20/13

9) SUBMISSION REQUIREMENTS

- a. Three copies of sign drawing indicating dimensions, shape, materials, and description of the face with lighting detail.
- b. One copy of the site plan showing the location of the sign on the property/building.
- c. Landscape plan for monument signs.

4
SIGN-3179-2013
5/23/13

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PLANNING AND CODE ADMINISTRATION

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Street Address 8720 Greensboro Dr. Suite No. 950

City McLean State Virginia Zip Code 22102

Telephone Numbers: Work 703-288-3075 Cell _____ E-Mail _____

3) APPLICANT

Name Ken Padgett Title Project Manager

Street Address 12055-B Tech Rd. Suite No. _____

City Silver Spring State Maryland Zip Code 20904

Telephone Numbers: Work 301-622-4290 Cell 301-370-2126 E-Mail ken@jandmservicesinc.com

4) SIGN CONTRACTOR

Business Name J&M Services, Inc. MD Business License No. 15721613

Primary Contact Ken Padgett

Street Address 12055-B tech Rd. Suite No. _____

City Silver Spring State Maryland Zip Code 20904

Telephone Numbers: Work 301-622-4290 Cell _____ E-Mail _____

5) ELECTRICAL CONTRACTOR

Business Name J&M Services, Inc.

Primary Contact Ken Padgett City License No. 1174

Street Address 12055-B tech Rd. Suite No. _____

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Telephone Numbers: Work 301-622-4290 Cell _____ E-Mail _____

6) OCCUPANT/TENANT/DOING BUSINESS AS

Business Name Mini of Montgomery

Primary Contact Everett Hellmuth

Street Address 621 N. Frederick Ave. Suite No. _____

City Gaithersburg State Maryland Zip Code 20879

Telephone Numbers: Work 301-423-2700 Cell _____ E-Mail _____

7) PERMIT TYPE

☐ TEMPORARY

- ☐ Banner
☐ Real Estate
☐ Pole Banner
☐ Construction
- ☐ Special Event

☒ PERMANENT

- ☐ A-Frame
☐ Directional
☐ Canopy
☐ Building
- ☒ Monument
☐ Re-Face
☐ Electronic
☐ Pole Banner

☒ ELECTRIC ?

Amps 7.34

☒ ILLUMINATED ?

- ☒ Externally
☒ Internally

8) PROJECT DETAILS (complete all that apply)

(Enter Height and Width in Inches)

- a. Square footage of sign: (Height) 148.5 X (Width) 64 = 66 Sq. Ft
- b. Square footage of building facade holding sign: (Height) _____ X (Width) _____ = _____ Sq. Ft
- c. Square footage of individual tenant band: (Height) _____ X (Width) _____ = _____ Sq. Ft

d. Height above grade 15'

e. ☐ Facade holding sign faces public street ☐ Sign faces public entrance ☒ Sign has footing

f. Exact wording of sign MINI LOGO- Mini of Montgomery County- 621 N. Frederick Ave.

Translation (if applicable) _____

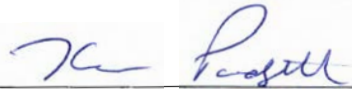
g. Exact placement of sign Driveway entrance at Russell Ave Setback 10'

h. Number of Faces 2

i. Color(s) of sign Black/White/Silver

j. Materials Aluminum & Acrylic

Applicant's Signature



Date

5/20/13

9) SUBMISSION REQUIREMENTS

- a. Three copies of sign drawing indicating dimensions, shape, materials, and description of the face with lighting detail.
- b. One copy of the site plan showing the location of the sign on the property/building.
- c. Landscape plan for monument signs.

3
SIGN-3177-2013
5/23/13

P&CA

PLANNING AND CODE ADMINISTRATION

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- ☐ Banner
☐ Real Estate
☐ Pole Banner
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☒ **PERMANENT**

- ☐ A-Frame
☐ Directional
☐ Canopy
☒ Building
- ☐ Monument
☐ Re-Face
☐ Electronic
☐ Pole Banner

☒ **ELECTRIC ?**Amps 3.56☐ **ILLUMINATED ?**

- ☐ Externally
☒ Internally

8) PROJECT DETAILS (complete all that apply)


(Enter Height and Width in Inches)

- a. Square footage of sign: (Height) 48 X (Width) 143.25 = 47.75 Sq. Ft
- b. Square footage of building facade holding sign: (Height) 240 X (Width) 1836 = 3,060 Sq. Ft
- c. Square footage of individual tenant band: (Height) _____ X (Width) _____ = _____ Sq. Ft
- d. Height above grade 17'-3"
- e. ☐ Facade holding sign faces public street ☐ Sign faces public entrance ☐ Sign has footing
- f. Exact wording of sign MINI

Translat on (if applicable) _____

- g. Exact placement of sign NE Building Elevation Facing Parking Area Setback _____
- h. Number of Faces 1
- i. Color(s) of sign Black/White
- j. Materials Aluminum & Acrylic

Applicant's Signature



Date

5/20/13**9) SUBMISSION REQUIREMENTS**

- a. Three copies of sign drawing indicating dimensions, shape, materials, and description of the face with lighting detail.
- b. One copy of the site plan showing the location of the sign on the property/building.
- c. Landscape plan for monument signs.

P&CA

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7) PERMIT TYPE

☐ TEMPORARY

- ☐ Banner
☐ Real Estate ☐ Special Event
☐ Pole Banner
☐ Construction

☒ PERMANENT

- ☐ A-Frame ☐ Monument
☐ Directional ☐ Re-Face
☐ Canopy ☐ Electronic
☒ Building ☐ Pole Banner

☒ ELECTRIC ?

Amps 2.74

☐ ILLUMINATED ?

- ☐ Externally
☒ Internally

8) PROJECT DETAILS (complete all that apply)

(Enter Height and Width in Inches)

- a. Square footage of sign: (Height) 22 X (Width) 135.625 = 20.72 Sq. Ft
b. Square footage of building facade holding sign: (Height) 240 X (Width) 1836 = 3,060 Sq. Ft
c. Square footage of individual tenant band: (Height) _____ X (Width) _____ = _____ Sq. Ft
d. Height above grade 14'-6"
e. ☐ Facade holding sign faces public street ☐ Sign faces public entrance ☐ Sign has footing
f. Exact wording of sign Service w/ Mini Logo _____

Translation (if applicable) _____

- g. Exact placement of sign NE Building Elevation Facing Parking Area Setback _____
h. Number of Faces 1
i. Color(s) of sign Black/White
j. Materials Aluminum & Acrylic

Applicant's Signature



Date

5/20/13

9) SUBMISSION REQUIREMENTS

- a. Three copies of sign drawing indicating dimensions, shape, materials, and description of the face with lighting detail.
b. One copy of the site plan showing the location of the sign on the property/building.
c. Landscape plan for monument signs.

1
SIGN-3173-2013
5/22/13

P&CA

PLANNING AND CODE ADMINISTRATION

City of Gaithersburg · 31 South Summit Avenue · Gaithersburg, Maryland 20877 · Telephone: (301) 258-6330 · Fax: (301) 258-6336
plancode@gaithersburgmd.gov · www.gaithersburgmd.gov

SIGN PERMIT APPLICATION

All information must be complete to initiate processing of application

1) SUBJECT PROPERTY

Street Address 621 N. Frederick Ave. Gaithersburg, MD 20879

Suite Number(s) _____

2) PROPERTY OWNER *(property owner's signed permission letter must be submitted with this application)*

Name CARS-DBI, LLC c/o Capitol Automotive Real Estate Services, Inc.

Street Address 8720 Greensboro Dr. Suite No. 950

City McLean State Virginia Zip Code 22102

Telephone Numbers: Work 703-288-3075 Cell _____ E-Mail _____

3) APPLICANT

Name Ken Padgett Title Project Manager

Street Address 12055-B Tech Rd. Suite No. _____

City Silver Spring State Maryland Zip Code 20904

Telephone Numbers: Work 301-622-4290 Cell 301-370-2126 E-Mail ken@jandmservicesinc.com

4) SIGN CONTRACTOR

Business Name J&M Services, Inc. MD Business License No. 15721613

Primary Contact Ken Padgett

Street Address 12055-B tech Rd. Suite No. _____

City Silver Spring State Maryland Zip Code 20904

Telephone Numbers: Work 301-622-4290 Cell _____ E-Mail _____

5) ELECTRICAL CONTRACTOR

Business Name J&M Services, Inc.

Primary Contact Ken Padgett City License No. 1174

Street Address 12055-B tech Rd. Suite No. _____

City Silver Spring State Maryland Zip Code 20904

Telephone Numbers: Work 301-622-4290 Cell _____ E-Mail _____

6) OCCUPANT/TENANT/DOING BUSINESS AS

Business Name Mini of Montgomery

Primary Contact Everett Hellmuth

Street Address 621 N. Frederick Ave. Suite No. _____

City Gaithersburg State Maryland Zip Code 20879

Telephone Numbers: Work 301-423-2700 Cell _____ E-Mail _____

7) PERMIT TYPE

☐ TEMPORARY

- ☐ Banner
☐ Real Estate ☐ Special Event
☐ Pole Banner
☐ Construction

☒ PERMANENT

- ☐ A-Frame ☐ Monument
☐ Directional ☐ Re-Face
☐ Canopy ☐ Electronic
☒ Building ☐ Pole Banner

☒ ELECTRIC ?

Amps 5.03

☐ ILLUMINATED ?

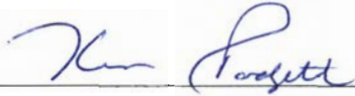
- ☐ Externally
☒ Internally

8) PROJECT DETAILS (complete all that apply)

(Enter Height and Width in Inches)

- a. Square footage of sign: (Height) 22 X (Width) 320.5 = 48.97 Sq. Ft
b. Square footage of building facade holding sign: (Height) 240 X (Width) 1719.875 = 2,866.46 Sq. Ft
c. Square footage of individual tenant band: (Height) _____ X (Width) _____ = _____ Sq. Ft
d. Height above grade 17'-6"
e. ☐ Facade holding sign faces public street ☐ Sign faces public entrance ☐ Sign has footing
f. Exact wording of sign Mini of Montgomery County w/ Mini Logo
Translation (if applicable) _____
g. Exact placement of sign NW Building Elevation Facing Parking Area Setback _____
h. Number of Faces 1
i. Color(s) of sign Black/White
j. Materials Aluminum & Acrylic

Applicant's Signature



Date

5/20/13

9) SUBMISSION REQUIREMENTS

- a. Three copies of sign drawing indicating dimensions, shape, materials, and description of the face with lighting detail.
b. One copy of the site plan showing the location of the sign on the property/building.
c. Landscape plan for monument signs.

1 inch = 50 feet



MD State Plane
HPGN NAD 83/91

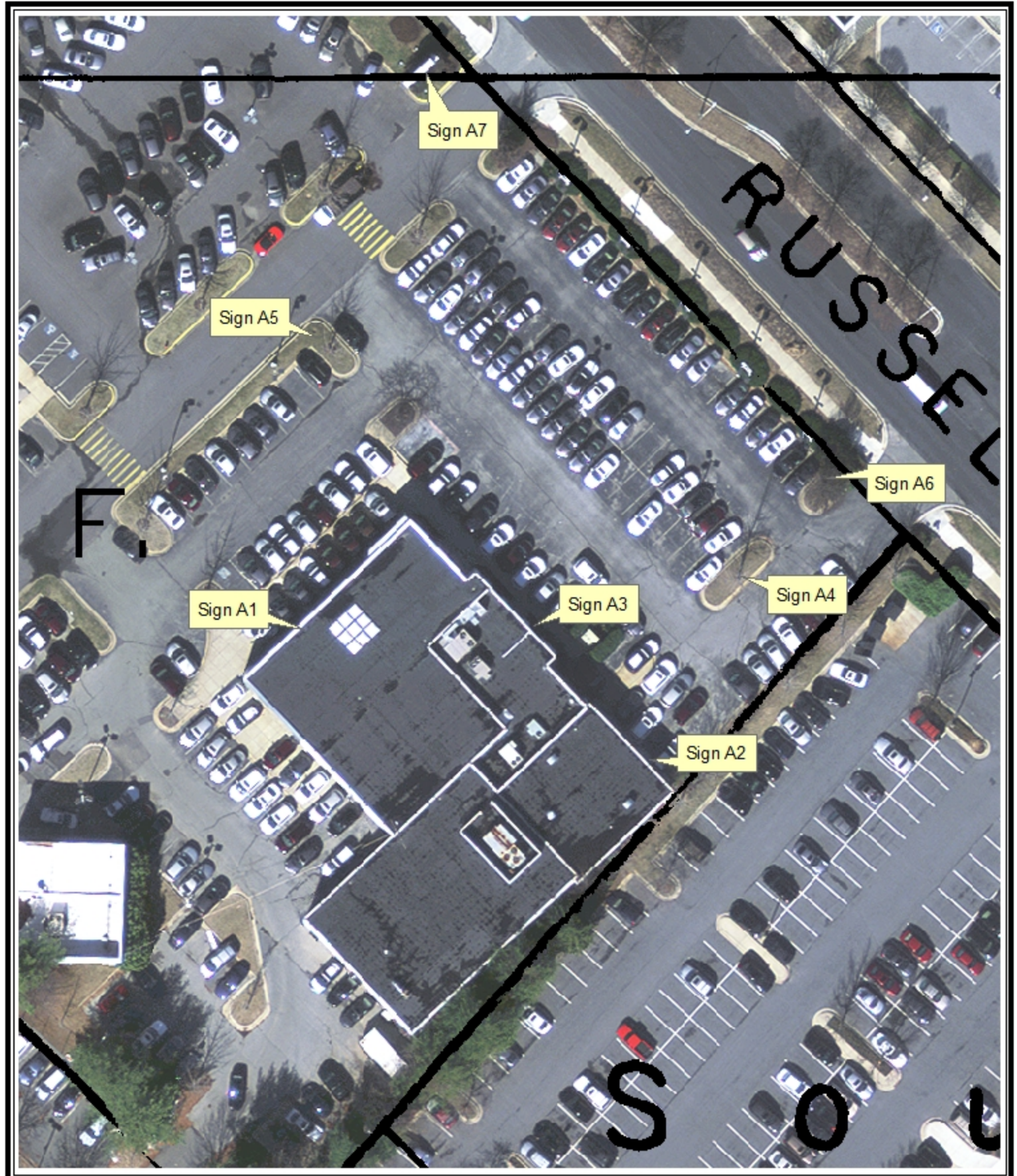
Aerial orthophoto is courtesy of the USGS National Map program.
<http://nationalmap.gov/> Property boundaries and planimetric base
map ©2011 M-NCPPC and City of Gaithersburg. All rights reserved.
Aerial photo acquired March 2008.

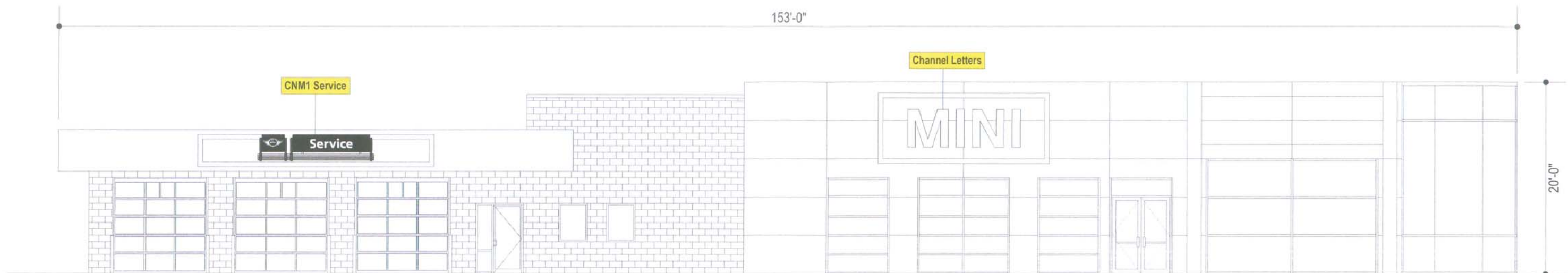
The City of Gaithersburg makes no warranty, express or implied,
for the completeness and accuracy of the information depicted
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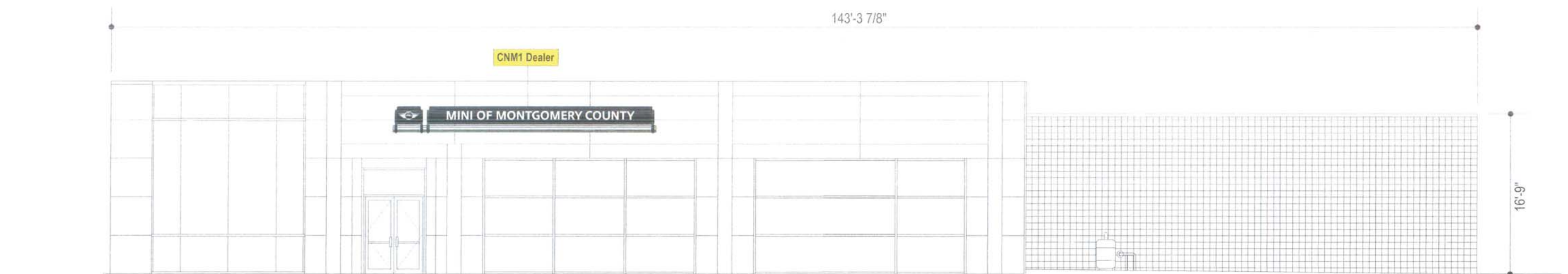
City of Gaithersburg
City Manager's Office
31 S Summit Ave
Gaithersburg, MD 20877
(301) 298-4510
www.gaithersburgmd.gov

ProjectName.mxd • 11-Jan-2011 • zzz

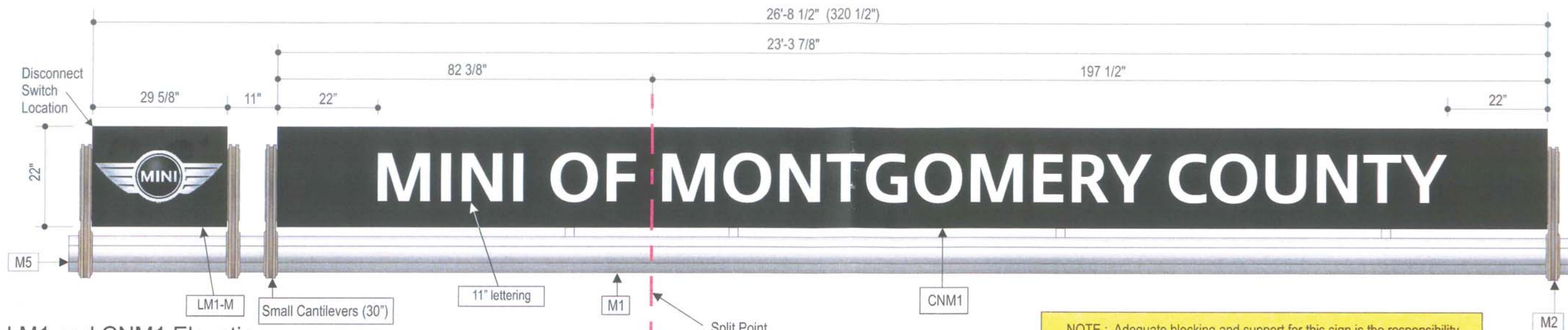




North East Elevation
Scale: 3/32"=1'-0" @ 11x17



North West Elevation
Scale: 3/32"=1'-0" @ 11x17



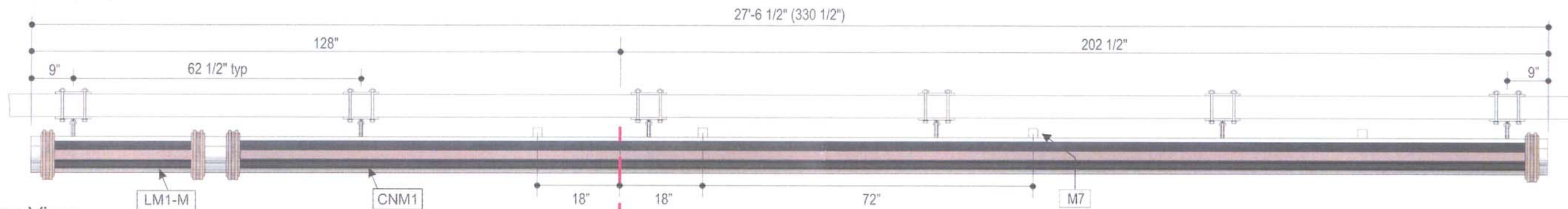
LM1 and CNM1 Elevation

Scale 1/2" = 1'-0" @ 11"x17"

NOTE: Adequate blocking and support for this sign is the responsibility of the dealer, and should be designed by your structural engineer.

CNM1 SQFT.
26'-8 1/2" x 22"
= 48.97 SQFT.

Approx. Weight
= 980 lbs



Plan View

Scale 1/2" = 1'-0" @ 11"x17"

Showing Bracket Locations

- * Re-use existing LM1-M / CNM1 bearing structure
- * Re-use existing wall brackets

Specifications:

Sign modules are fabricated from .090 aluminum faces painted G2.
Internally illuminated routed faces.
Lettering is acrylic push-through 7328 white.
Logo modules are identical to pylon modules, mounted with stainless steel hardware.

Material Description

- | | |
|----|---|
| M1 | 200mm pole - bearing structure. Length as required (2" past outside cantilevers, typ.) |
| M2 | Cantilever supports at each end of facade module (29" ±) w/ 1/2" S.S. mounting hardware |
| M3 | LED insert strip on front of bearing structure (typ) |
| M4 | Blank insert strip on building side of bearing structure (typ) |
| M5 | End Cap (typ) |
| M6 | Wall Brackets: Spaced no further than 10'-6" as required for overall length. Minimum three required per bearing structure. |
| M7 | Middle Support Brackets: on modules longer than 10 feet. Brackets add stability to sign structure. Spaced 6'-0" on center (CNM1-3) and 3'-0" on center for a CNM4 |

Graphic Colors

- | | |
|----|-------------------------|
| G1 | BMW F1 Charcoal |
| G2 | BMW White |
| G3 | Clear Anodized Aluminum |

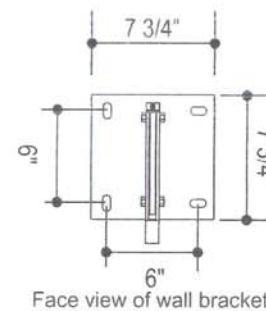
Electrical Requirements

120 volt circuit required dedicated to sign only. Power to sign to be installed and supplied by others.

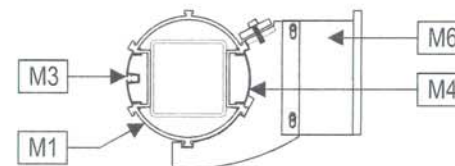
- | | |
|-------------|----------------------------|
| Qty: | Description |
| 1: | ESB216-12 @ 1.12 amps |
| 1: | ESB848-46 @ 3.41 amps |
| 1: | LED Transformer @ 0.5 amps |
| | = 5.03 Total amps |

LAMPS:

- | | |
|----|----------------|
| 2: | HO 24 FL Lamps |
| 6: | HO 84 FL Lamps |

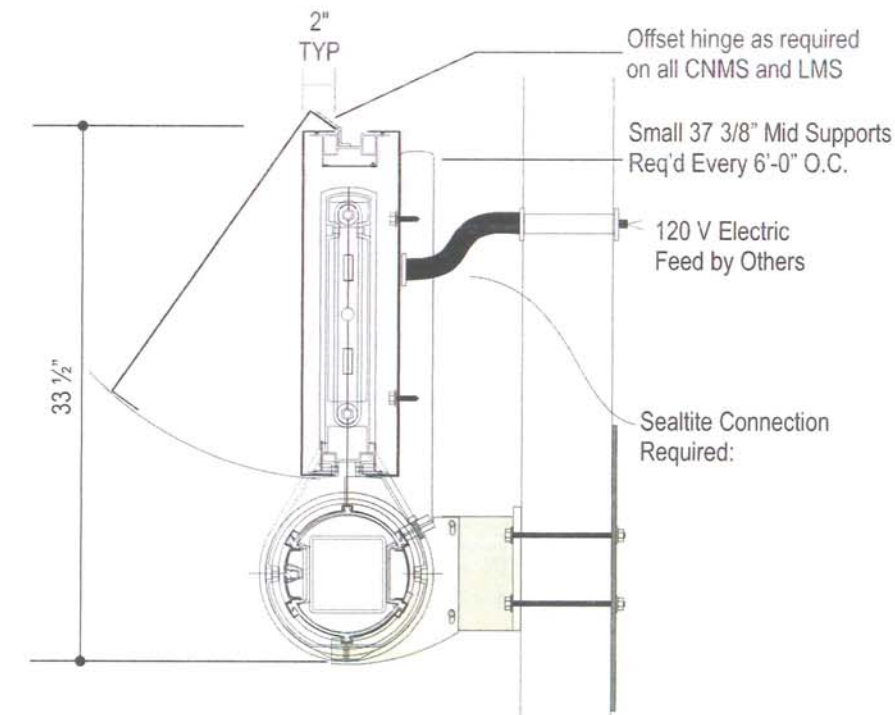


Face view of wall bracket



End view at Wall Bracket
(every 8'-0" minimum)

Wall Bracket: Scale 1" = 1'-0"



CLIENT:	MINI of Montgomery County
LOCATION:	Montgomery County, MD
DATE:	June 21, 2011
DRAWING #	MIN-Montgomery Co-LM1 CNM1
DRAWN BY:	CW

THIS DESIGN IS SUBMITTED AS PART OF OUR PROPOSAL AND IS TO REMAIN OUR PROPERTY EXCLUSIVELY UNTIL ACCEPTED AND APPROVED BY PURCHASE.

REV #	DESCRIPTION	DATE	BY
#2	Revised to re-use Existing brackets per D. W.	05-03-13	TN
#1	Revised with Notes per D. W.	04-04-13	TN



THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND / OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

CUSTOMER APPROVAL:

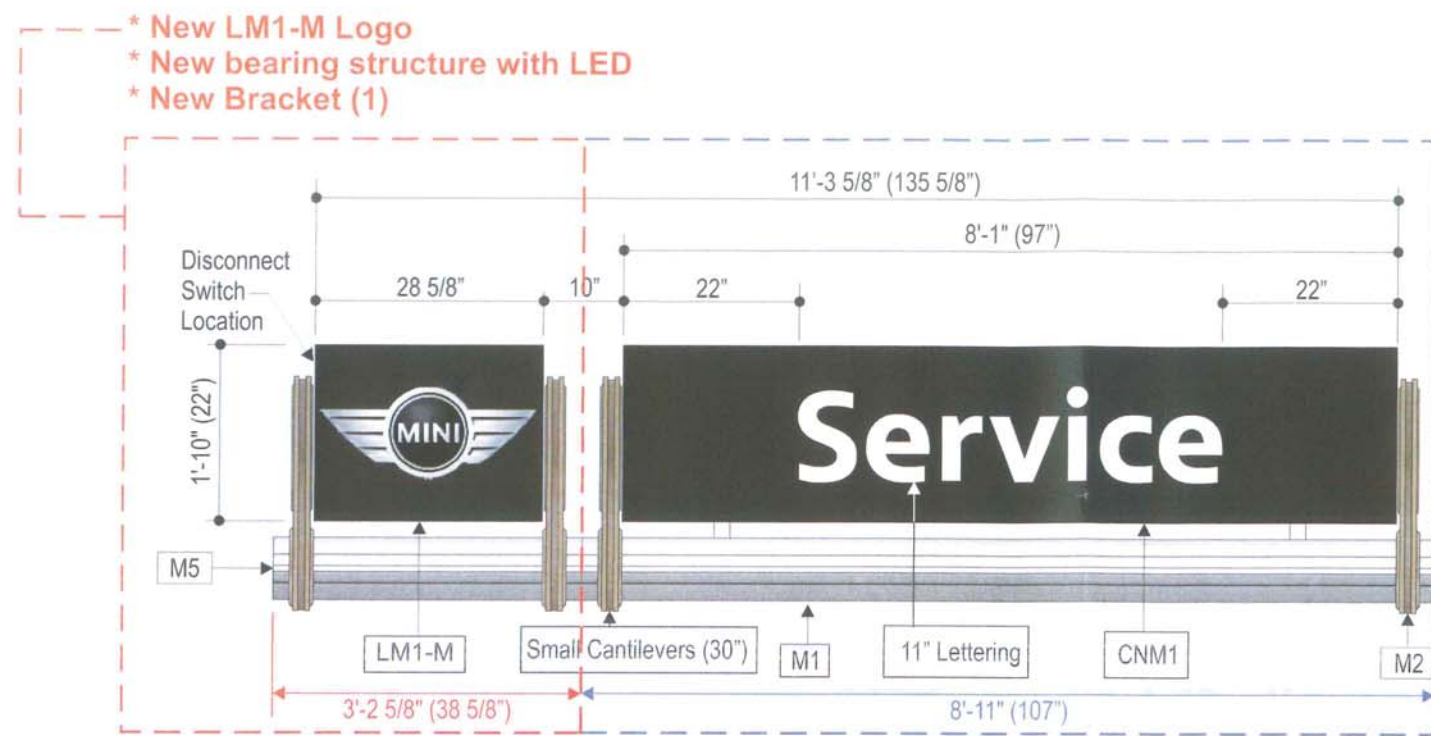
SIGNATURE _____
DATE _____
APPROVAL RECEIVED BY UNITED _____
DATE _____

IMPORTANT:

PERMANENT ACCESS TO THE BACK SIDE OF THE WALL IS REQUIRED FOR INSTALLATION AND WIRING OF THE SIGN.
IF IT IS NOT AVAILABLE IT MUST BE PROVIDED BY THE CUSTOMER BEFORE INSTALLATION.



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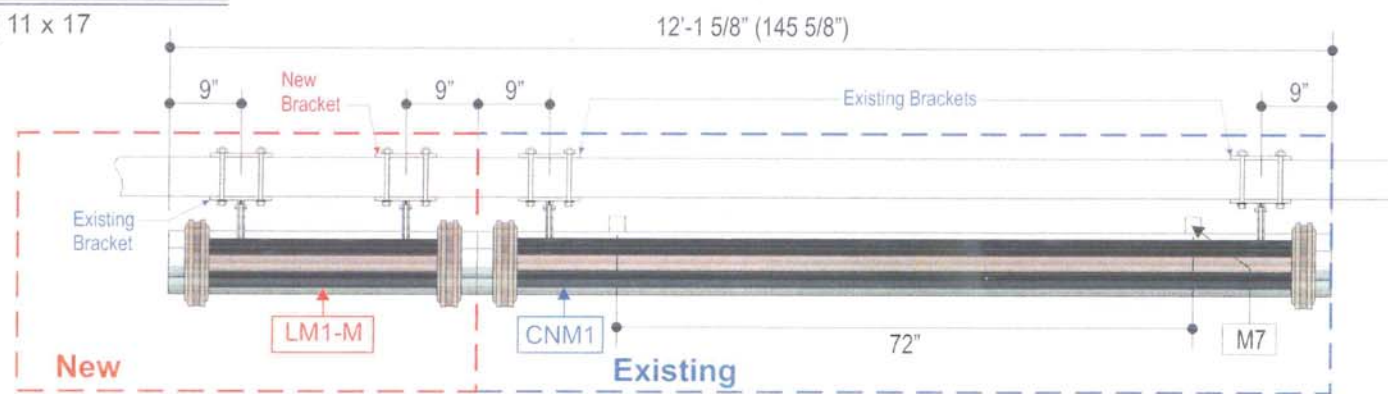
Re-use Existing
"Service" CNM1
with cantilever arms

CNM1 SQFT.
1'-10" x 11'-3 5/8"
= 20.72 SQFT.

Approx. weight
= 438 lbs

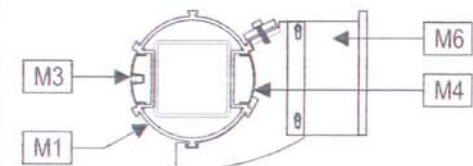
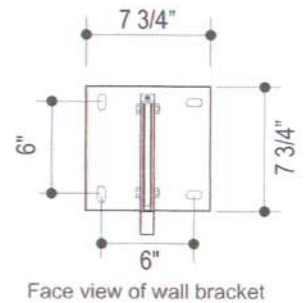
LM1 and CNM1 - Elevation

Scale 1/2" = 1'-0" @ 11 x 17



Plan View

Scale 1/2" = 1'-0" @ 11 x 17
Showing Bracket Locations



Wall Bracket: Scale 1" = 1'-0"

Specifications:
Sign modules are fabricated from .090 aluminum faces painted G2.
Internally illuminated routed faces.
Lettering is acrylic push-through 7328 white.
Logo modules are identical to pylon modules, mounted with stainless steel hardware.

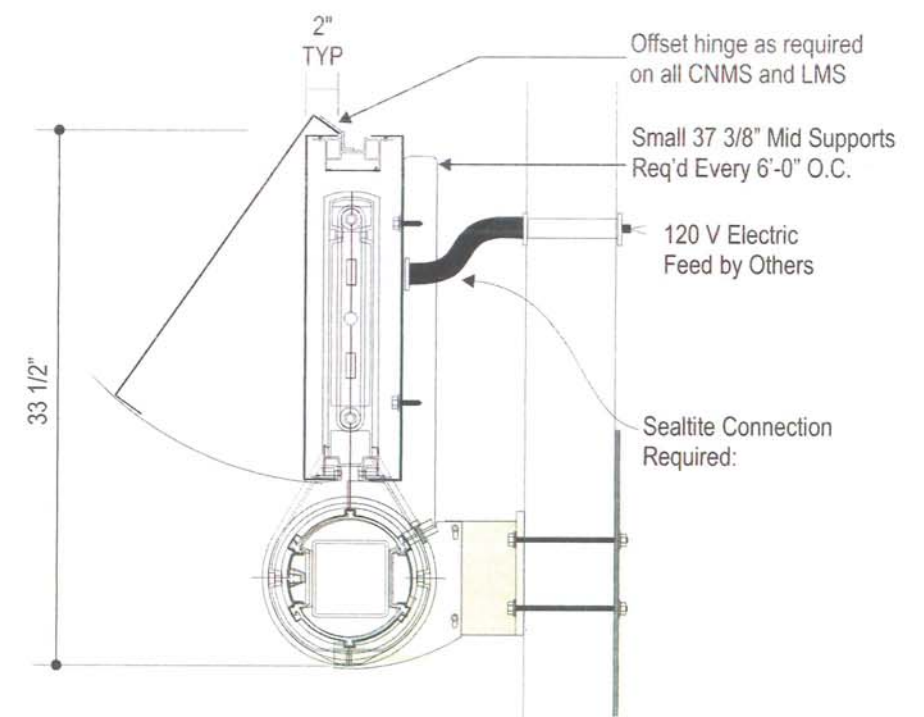
Material	Description
M1	200mm pole - bearing structure. Length as required (2" past outside cantilevers, typ.)
M2	Cantilever supports at each end of facade module (29" ±) w/ 1/2" S.S. mounting hardware
M3	LED insert strip on front of bearing structure (typ)
M4	Blank insert strip on building side of bearing structure (typ)
M5	End Cap (typ)
M6	Wall Brackets: Spaced no further than 10'-6" as required for overall length. Minimum three required per bearing structure.
M7	Middle Support Brackets: on modules longer than 10 feet. Brackets add stability to sign structure. Spaced 6'-0" on center (CNM1-3) and 3'-0" on center for a CNM4

Graphic Colors	
G1	BMW F1 Charcoal
G2	BMW 929 Black
G3	Clear Anodized Aluminum

Electrical Requirements
120 volt circuit required dedicated to sign only. Power to sign to be installed and supplied by others.

Qty:	Description
2:	ESB216-12 @ 1.12 amps
1:	LED Transformer @ 0.5 amps
= 2.74 Total amps	

LAMPS:	
2:	HO 24 FL Lamps
2:	HO 64 FL Lamps



CLIENT:	MINI of Montgomery County
LOCATION:	Montgomery County, MD
DATE:	12.14.12
DRAWING #	MIN-Montgomery Co-CNM1 Service
DRAWN BY:	CB

THIS DESIGN IS SUBMITTED AS PART OF OUR PROPOSAL AND IS TO REMAIN OUR PROPERTY EXCLUSIVELY UNTIL ACCEPTED AND APPROVED BY PURCHASE.

REV #	DESCRIPTION	DATE	BY
#3	Revised with 1 New W. bracket	05-03-13	TN
#2	Revised with additional W. bracket & location	04-26-13	TN
#1	Revised with Notes per D. W.	04-04-13	TN



THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND / OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

CUSTOMER APPROVAL:

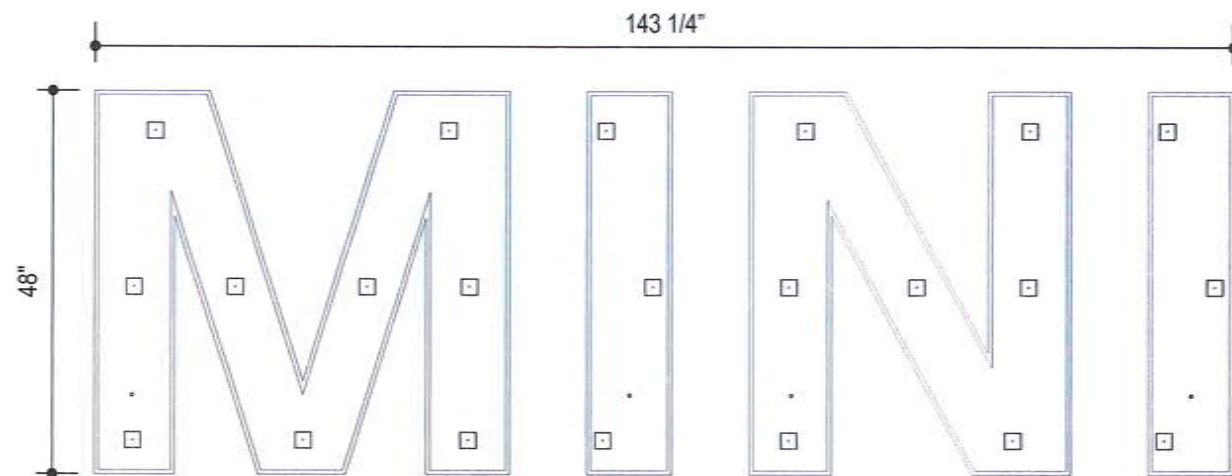
SIGNATURE
DATE:
APPROVAL RECEIVED BY UNITED
DATE:

IMPORTANT:

PERMANENT ACCESS TO THE BACK SIDE OF THE WALL IS REQUIRED FOR INSTALLATION AND WIRING OF THE SIGN. IF IT IS NOT AVAILABLE IT MUST BE PROVIDED BY THE CUSTOMER BEFORE INSTALLATION.



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WML-48 Elevation:

Scale 1/2" = 1'0" @ 11 x 17

Graphic Colors

G1 929 BLACK

G2 WHITE ACRYLIC

Electrical Requirements

120 volt circuit required dedicated to sign only. Power to sign to be installed and supplied by others.

Qty:Description

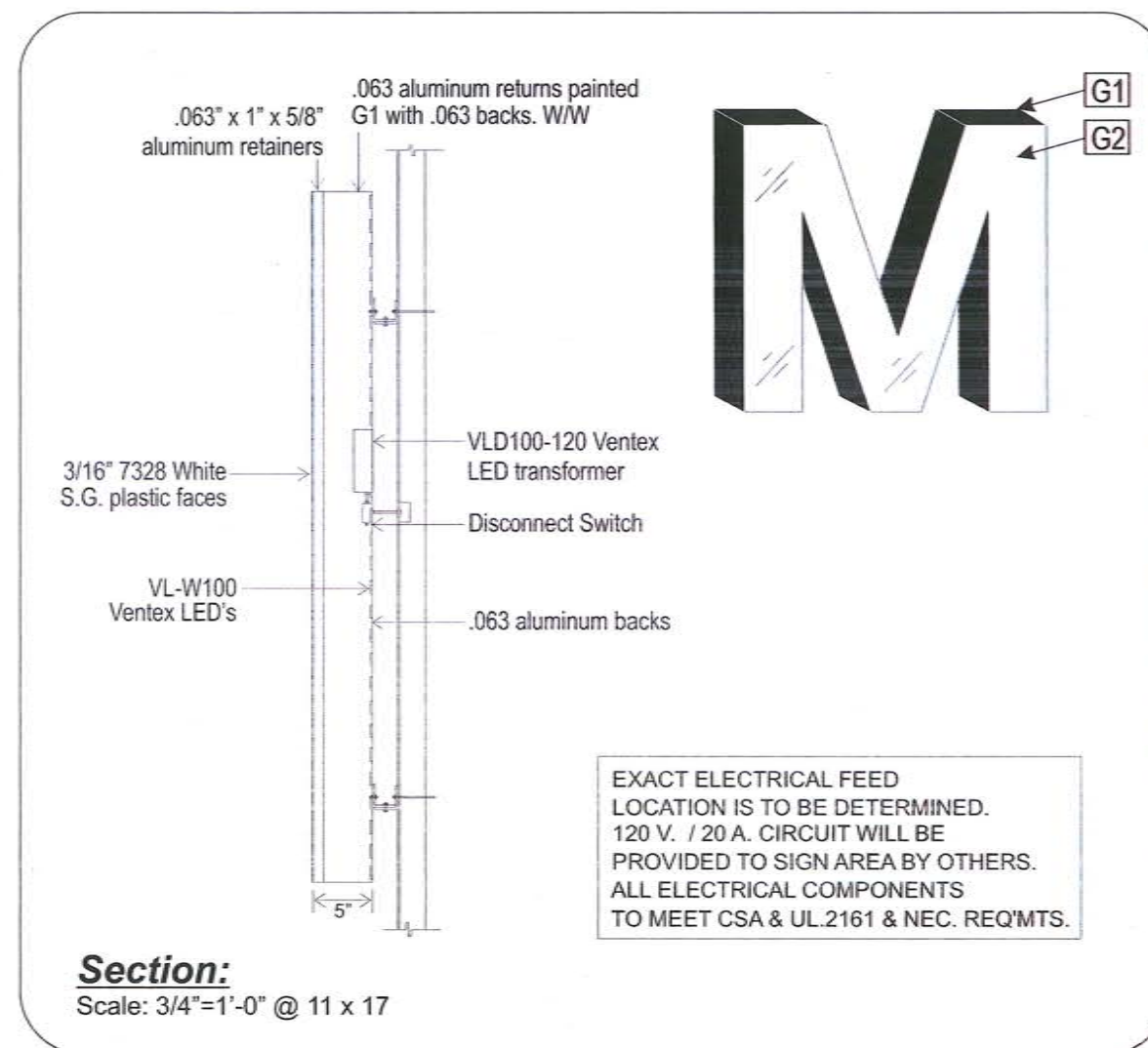
TBD:VLP 100-120 Ventex Transformers

LED'S

TBD:VL-W100 Ventex LED's

WML SQFT.
48" x 143 1/4"
=47.75 SQFT.

WEIGHT:
Approx. 150lbs



CLIENT:	MINI of Montgomery County
LOCATION:	Montgomery County, MD
DATE:	June 20, 2011
DRAWING #	MINI-Mont-48" LTRS
DRAWN BY:	CW

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REV #	DESCRIPTION	DATE	BY



THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND / OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

CUSTOMER APPROVAL:

SIGNATURE
DATE:
APPROVAL RECEIVED BY UNITED
DATE:

IMPORTANT:

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Sign #1

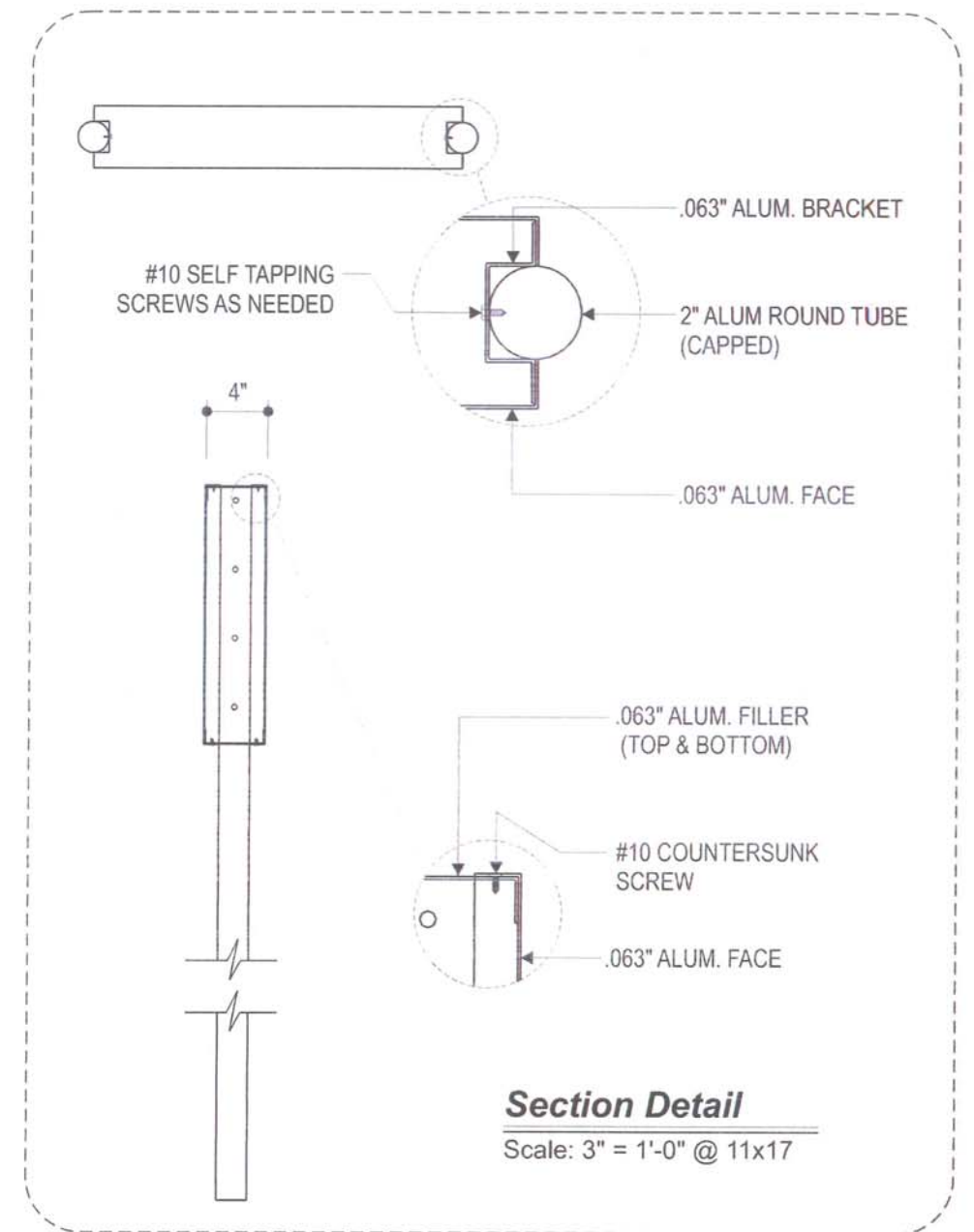
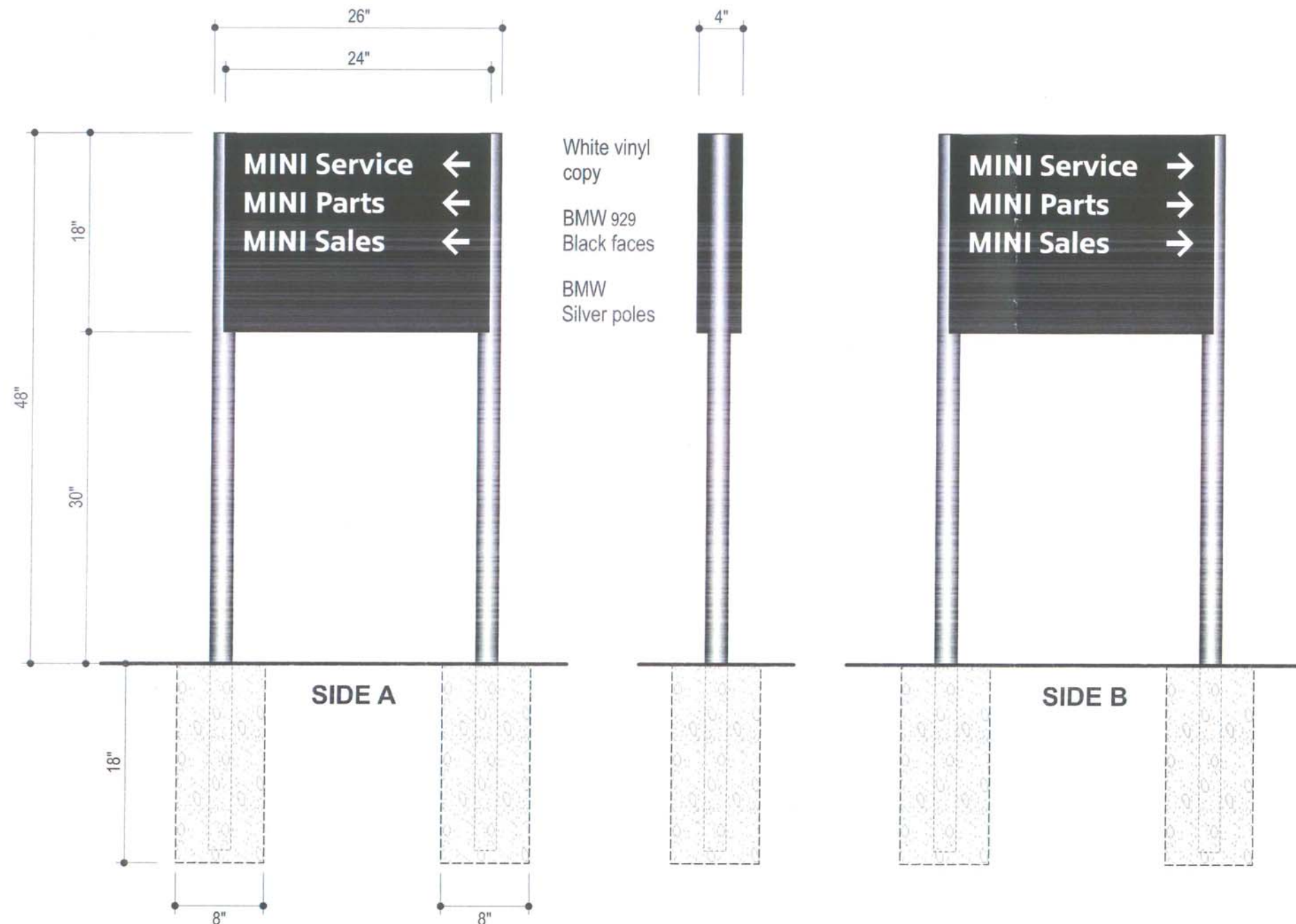
Scale: 1" = 1'-0" @ 11x17

Scale: 1" = 1'-0" @ 11x17

Scale: 3" = 1'-0" @ 11x17

Square Feet: 18" x 24" = 3.00

Sign #2



Elevation - Directional Sign

Scale: 1" = 1'-0" @ 11x17

Side View

Scale: 1" = 1'-0" @ 11x17

CLIENT:	MINI of Montgomery County
LOCATION:	Montgomery County, MD
DATE:	April 04, 2013
DRAWING #	MIN-Montgomery Co-DSF
DRAWN BY:	TN

THIS DESIGN IS SUBMITTED AS PART OF OUR PROPOSAL AND IS TO REMAIN OUR PROPERTY EXCLUSIVELY UNTIL ACCEPTED AND APPROVED BY PURCHASE.

REV #	DESCRIPTION	DATE	BY



THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND / OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

CUSTOMER APPROVAL:

SIGNATURE _____

DATE: _____

APPROVAL RECEIVED BY UNITED _____

DATE: _____

IMPORTANT:

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P4- Double-Sided Pylon

Square Feet: 3'-11 1/2" x 5'-4" x 3 = 63.33 Sq Ft

NOTE:
ALWAYS INSTALL WITH
FLAG SIDE TOWARD THE STREET

Plan View

Scale: 3/8"=1'-0" @ 11"x17"



Electrical Disconnect

36" Cantilevers

MINI OF
MONTGOMERY
COUNTY

621 N.
FREDERICK AVE.

15'-0" O.A.H.

Module : 3'-11 1/2" x 5'-4"

Non-Shrinking Grout

Electric feed

Concrete Footer as req'd per local Codes.

Top of footer should be located 1/2" below grade unless otherwise noted.

Specifications:

Internal framing support using extruded aluminum as required.

Background Panel is .090" aluminum painted 929 Black with illuminated MINI logo.

MINI center name:

White aluminum lettering.

Illumination:

High Output White fluorescent lamps.

Electrical Specifications

Ballasts

QTY	DESCRIPTION
1	ESB432-14 @ 2.34 Amps each
1	LED Transformer @ 1.0 Amp
2	HID lights @ 2.0 Amps each

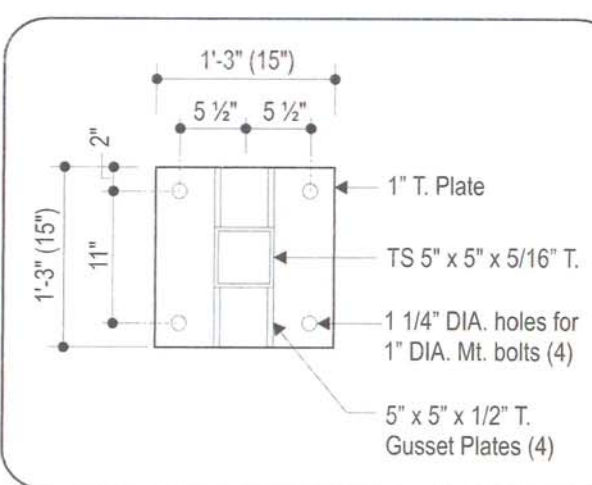
Total Amps = 7.34

Lamps

4	60" H.O. Fluorescent Lamps
---	----------------------------

Voltage

120V



Base Plate Detail

Scale: 3/4"=1'-0" @ 11"x17"

P4 End Elevation

Scale: 3/8"=1'-0" @ 11"x17"

P4 - Front Elevation

Scale: 3/8"=1'-0" @ 11"x17"

CLIENT: MINI of Montgomery County
LOCATION: Gaithersburg, MD
DATE: January 23, 2013
DRAWING #: MIN-Montgomery Co-4.3
DRAWN BY: TN

THIS DESIGN IS SUBMITTED AS PART OF OUR PROPOSAL AND IS TO REMAIN OUR PROPERTY EXCLUSIVELY UNTIL ACCEPTED AND APPROVED BY PURCHASE.

#1	Revised copy on center module per D. W.	01-24-13	TN
REV #	DESCRIPTION	DATE	BY



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CUSTOMER APPROVAL:

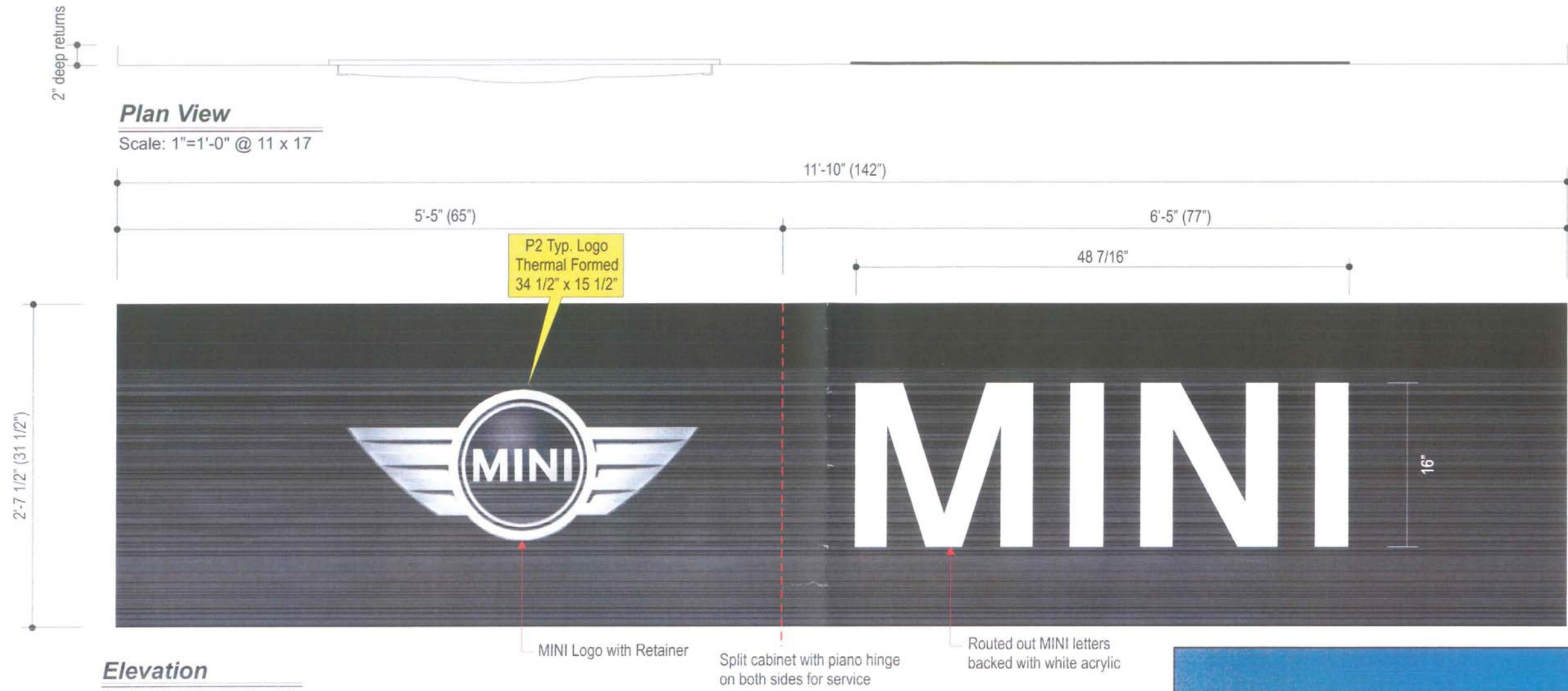
SIGNATURE
DATE:
APPROVAL RECEIVED BY UNITED
DATE:

IMPORTANT:

PERMANENT ACCESS TO THE BACK SIDE OF THE WALL IS REQUIRED FOR INSTALLATION AND WIRING OF THE SIGN. IF IT IS NOT AVAILABLE IT MUST BE PROVIDED BY THE CUSTOMER BEFORE INSTALLATION.



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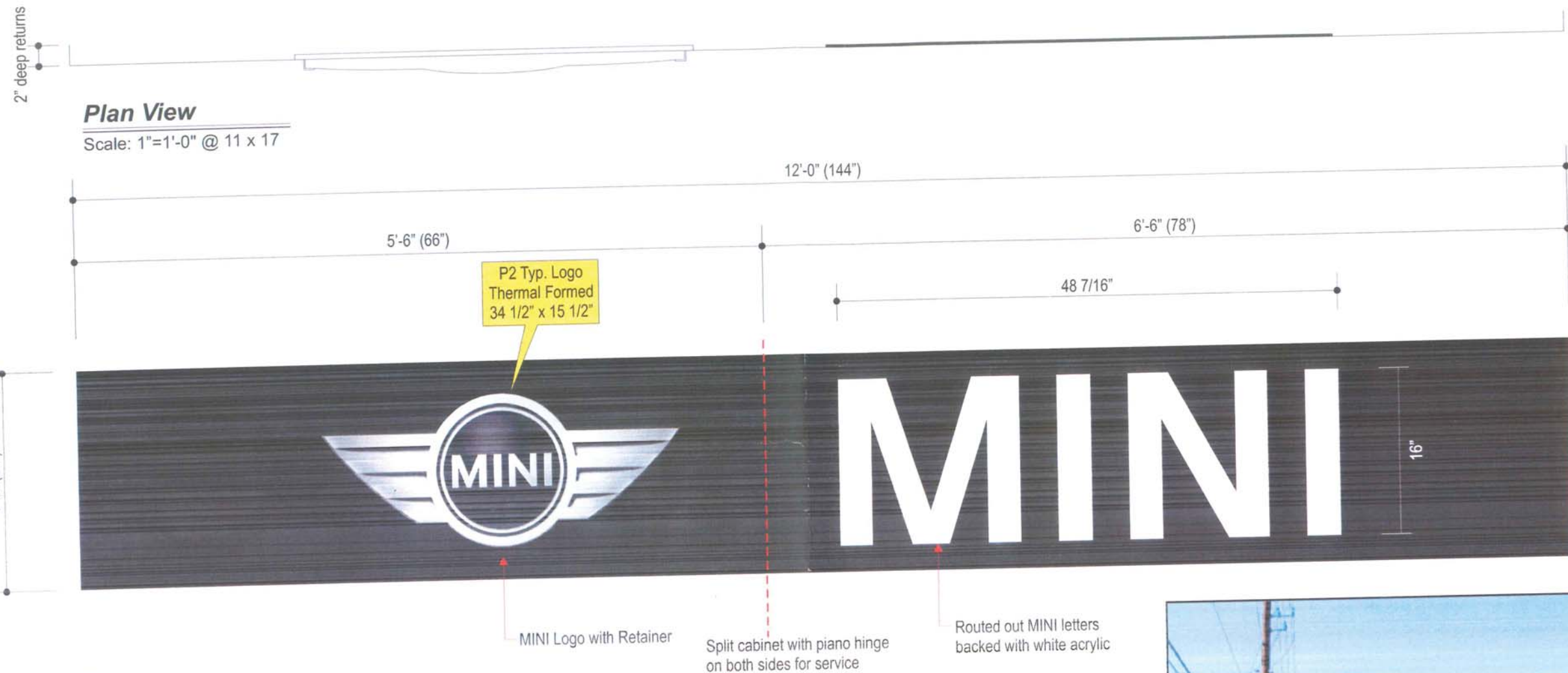
Elevation
Scale: 1"=1'-0" @ 11 x 17

* Sign #2 (Russell Road)
Shared Monument

(2) New 2" deep pan faces, hinged for service to be installed over existing panel



CLIENT:	MINI of Montgomery County	THIS DESIGN IS SUBMITTED AS PART OF OUR PROPOSAL AND IS TO REMAIN OUR PROPERTY EXCLUSIVELY UNTIL ACCEPTED AND APPROVED BY PURCHASE.	REV #	DESCRIPTION	DATE	BY	 	THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND / OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.	CUSTOMER APPROVAL: SIGNATURE _____ DATE: _____ APPROVAL RECEIVED BY UNITED _____ DATE: _____	IMPORTANT: PERMANENT ACCESS TO THE BACK SIDE OF THE WALL IS REQUIRED FOR INSTALLATION AND WIRING OF THE SIGN. IF IT IS NOT AVAILABLE IT MUST BE PROVIDED BY THE CUSTOMER BEFORE INSTALLATION.	 United Sign Systems	206 Tower Drive Oldsmar, Florida 34677 unitedsignsystems.com 888-704-1516 A Division of United Advantage Sign Companies, Inc.		
LOCATION:	Gaithersburg, MD												STAMP #	X
DATE:	April 04, 2013													
DRAWING #	MINI-Montgomery Co-Reface-2													
DRAWN BY:	TN	APPROVED BY:		SHEET SIZE	11 x 17									



Elevation
Scale: 1"=1'-0" @ 11 x 17

*** Sign #1 (Frederick Avenue)
Shared Monument**

(2) New 2" deep pan faces, hinged for service to be installed over existing panel



CLIENT:	MINI of Montgomery County
LOCATION:	Gaithersburg, MD
DATE:	12.17.12
DRAWING #	MINI-Montgomery Co-Reface-
DRAWN BY:	CB

THIS DESIGN IS SUBMITTED AS PART OF OUR PROPOSAL AND IS TO REMAIN OUR PROPERTY EXCLUSIVELY UNTIL ACCEPTED AND APPROVED BY PURCHASE.

REV #	DESCRIPTION	DATE	BY
#3	Revised per Survey dimensions	04-04-13	TN
#2	Revised with photo overlay	01-03-13	TN
#1	Revised Background from White to Black	12-19-12	MM



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CUSTOMER APPROVAL:

SIGNATURE
DATE: _____
APPROVAL RECEIVED BY UNITED
DATE: _____

IMPORTANT:

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Oldsmar, Florida 34677
unitedsignsystems.com
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Sign Companies, Inc.

PASSPORT

MINI
of
Montgomery
County



1190 Rockville Pike
Rockville
Maryland 20852
240-238-1200
Fax 301-423-4339

May 30, 2013

To City of Gaithersburg Staff:

Thank you for our consideration of a pylon sign at our new MINI store in Gaithersburg. We are very excited about opening our new dealership on June 24th which is very soon.

As you know we are applying for a 15 foot tall pylon sign after even though we had hoped for an 18 foot tall sign. It is very important for us to have this sign as the previous dealership did not and failed thus closed the doors and all the staff lost their jobs.

We would like to request a waiver for the overall height of this sign (15' in lieu of 12') based upon the following:

1. Our Physical Address is on North Fredrick Avenue.
2. Notwithstanding the above, our Landlord will not permit us a freestanding sign on North Fredrick Avenue.
3. Our vehicle entrance is set back some distance from North Fredrick Avenue.
4. Due to the volume of traffic expected from our guests, we are seeking to maximize the visibility for traffic along N. Frederick Avenue, so as to avoid having clientele "miss" our dealership and the potential safety issues associated with that.
5. The sign at 63.33 Sq. Feet is well within the 80 Square feet allowed.
6. The existing landscaping at the corner of N. Frederick and Russel Avenue is such that a 12' sign has limited viewing. The proposed 15' sign would mitigate this issue.
7. Others with addresses on North Fredrick Avenue, and access to a freestanding sign on that street.
8. We believe that this adjustment is unique to our situation

We strongly believe that this pylon is essential so potential customers will know that a MINI dealership is currently open and in business, on a site where an empty building has been sitting for most of the last 10 years. Most people who drive by currently are used to a closed building. This sign is crucial to "putting us on the map"

Furthermore, we intend on hiring a lot of local citizens and being in business there for a long time. Even though the previous 2 dealerships closed or moved, I feel very confident that we will have a great business there in the community, and we are looking forward to contributing to the community and being a good neighbor.

Thank you for your consideration and for assisting us in this matter, we look forward to a long stay here in our new location.

Sincerely,

A handwritten signature in black ink, appearing to read "Everett Hellmuth".

Everett Hellmuth
President

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Letter of Authorization

TO WHOM IT MAY CONCERN:

The undersigned Owner does hereby authorize UNITED SIGN SYSTEMS, its agents, servants and/or employees, to act on his/her behalf in obtaining all necessary permits, approvals, and/or variances required to erect signage at the following property, and in installing all signage at said property:

MINI of Montgomery County
621 N. Frederick Ave.
Gaithersburg, MD 20879

CARS-DB1, L.L.C., a Delaware Limited Liability Company
By: Capital Automotive Real Estate Services, Inc., a Delaware corporation
its manager

Owner Signature

Telephone Number

703-288-3675
CATHERINE L. POTTER
Vice President & Secretary

Owner Name and Address:

c/o Capital Automotive Real Estate Services Inc.
8270 Greensboro Drive, Suite 950
McLean, VA 22102

State of Virginia

County of Fairfax

Before me appeared Catherine L. Potter this 15 day of
May, 2013 being personally known or having produced
as identification and who executed the foregoing
instrument, and acknowledged to and before me that he/she executed said instrument
for the purposes therein expressed.

Ashley Katherine Dawson

Notary Public

My commission expires: 12-31-2014



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